

TOWN OF LA POINTE REQUEST FOR BIDS

La Pointe, WI 54850

Posted February 24, 2021

BIDS ARE DUE: MARCH 23, 2021 BY 3:00 P.M.

Town Clerk

La Pointe Town Hall, 240 Big Bay Road, PO Box 270, La Pointe, WI 54850

clerk@townoflapointewi.gov

Bids will be opened at the 5:30 P.M. Town Board meeting on March 23, 2021

I. BID

1. DEFINITIONS:

“Town” is Town of La Pointe, Wisconsin

“Bidder” is an individual or business submitting a bid to the Town

“Contractor” is one who contracts to perform services in accordance with a contract.

“RFB” is Request for Bid.

2. PURPOSE OF BID

The Town of La Pointe is in need of hiring a qualified contractor to construct a passenger shelter to be installed on the Town of La Pointe dock, located in La Pointe, WI 54850 (Madeline Island).

Bid Terms:

- A. The Town reserves the right to reject any or all bids for no reason.
- B. Bids must be signed by an official authorized to bind the contractor to its provisions for at least a period of 90 days. Failure of the successful proposer to accept the obligation of the bid may result in the cancellation of any award.
- C. In the event it becomes necessary to revise any part of the RFB, addenda will be provided. Deadlines for submission of the RFB’s may be adjusted to allow for revisions. To be considered, one bid must be mailed to the Town Clerk or delivered to the Town Hall on or before the date and time specified.
- D. Bids should be prepared simply and economically, providing a straight-forward concise description of the contractor’s ability to meet the requirements of the RFB.

- E. A formal written contract will be executed between the Town and the awarded contractor.
- F. In the event the Town receives two or more bids from responsive, responsible proposers, the Town may award the contract to the most responsive and responsible contractor based on previous history.

II. BID SPECIFICATIONS

The bid shall include all of the following information. Failure to include all of the required information may result in disqualification of a bid.

- 1. Contractor's qualifications, years in business, and experience in providing the level and type of services specified in the bid.
- 2. Bank References with name and phone number of contact person.
- 3. At least three (3) current references using similar services listed in the bid. Include company name, contact name and phone number.

III. GENERAL SPECIFICATIONS

1. Site Details

A. Job should be completed by July 1, 2021.

B. The bidder shall, before submitting the bid, carefully examine the proposal, plans, specifications, and contract documents. The bidder shall inspect in detail the site of the proposed work and be familiar with all the local conditions affecting the contract. If successful, the bidder will be responsible for all errors in the proposal resulting from failure or neglect to comply with these instructions. The Town will, in no case, be responsible for any change in anticipated profits resulting from such failure or neglect.

2. Project Specifications

A. Please see attached plans and specifications prepared by C & S Design, Ashland, WI.

B. Paint brand choices and color to be determined by Town.

C. Contractor shall, at all times, keep the site free from accumulation of waste materials, debris or rubbish caused by his or her employees at work. Contractor shall remove from the site all tools, surplus materials, debris or rubbish and shall leave the site and the work in a neat and orderly fashion at the completion of the work.

D. Arrangements may be made, in advance, for leased waste containers for disposal of the above to haul off the Island.

All foregoing provisions shall be considered part of the contract document and are hereby made a part of and applicable to all work under these specifications.

IV. CONTRACT PROVISIONS

If a contract is awarded, the selected contractor will be required to adhere to a set of general contract provisions which will become a part of any formal agreement.

1. Reporting of Contractor

- A. The Contractor is to report to the Town of La Pointe Facilities Manager and/or designee and will cooperate and confer as necessary to insure satisfactory work progress.
- B. All reports, estimates, memoranda and documents submitted by the Contractor must be dated and bear the Contractor's name.
- C. All reports made in connection with these services are subject to review and final approval by the Facilities Manager prior to payment.
- D. The Town may review and inspect the Contractor's activities during the term of this contract.
- E. Lien waivers must be put in place for all subcontractors and materials purchased.
- F. Contractor is responsible for all expenses related to transportation of staff and materials and disposal of debris.
- G. Contract must secure all necessary permits according to local and state laws and regulations.

2. Personnel

- A. The Contractor will not hire any Town employee for any of the required services without the Town's written approval.

- B. The parties agree that the Contractor is neither an employee nor an agent of the Town for any purpose.

3. Indemnification Agreement

The Contractor will protect, defend and indemnify the Town, its officers, agents, assigns, volunteers and employees from any and all liabilities, claims, liens, fines, demands and costs, including legal fees, of whatsoever kind and nature which may result in injury or death to any persons, including the Contractor's own employees, and for loss or damage to any property, including property owned or in the care, custody or control of the Town in connection with or in any way incident to or arising out of the occupancy, use service, operations, performance or non-performance of work in connection with this contract resulting in whole or in part from negligent acts or omissions of contractor, any sub-contractor, or any employee, agent or representative of the contractor or any sub-contractor.

4. Insurance Requirements

The Contractor will maintain at its own expense during the term of this Contract, the following insurance:

- A. Workers' Compensation insurance with Wisconsin statutory limits and Employers Liability Insurance with a minimum limit of \$100,000 each accident for any employee.
- B. Commercial General Liability insurance with a combined single limit of \$1,000,000 each occurrence for bodily injury and property damage. The Township shall be added as "additional insured" on general liability policy with respect to the services provided under this contract.
- C. Automobile Liability Insurance covering all owned, hired and non-owned vehicles with Personal Protection Insurance and Property Protection Insurance, including residual liability insurance with a minimum combined single limit of \$1,000,000 each accident for bodily injury and property damage.
- D. Contractor shall furnish the Town Administrator with satisfactory certificates of insurance or a certified copy of the policy, if requested.

No payments will be made to the Contractor until the current certificates of insurance have been received and approved by the Town Administrator. If the insurance as evidenced by the certificates furnished by the Contractor expires or is canceled during the term of the contract, services and related payments will be suspended. Contractor shall furnish the Town Administrator with certification of insurance evidencing such coverage and endorsements at

least ten (10) working days prior to the commencement of services under this contract and shall provide for 30-day written notice to the Certificate holder of cancellation of coverage.

5. Warranty

The Town requires a one-year warranty on labor.

6. Compliance with Laws and Regulations

The Contractor will comply with all federal, state and local regulations, including but not limited to all applicable OSHA requirements and the Americans with Disabilities Act.

7. Interest of Contractor and Town

The Contractor promises that it has no interest which would conflict with the performance or services required by this contract. The Contractor also promises that in the performance of this contract, no officer, agent, employee of the Town or member of its governing body, may participate in any decision relating to this contract which affects his/her personal interest or the interest of any corporation, partnership or association in which he/she is directly or indirectly interested or has any personal or pecuniary interest.

8. Equal Employment Opportunity

The Contractor will not discriminate against any employee or applicant for employment because of race, creed, color, sex, sexual orientation, national origin, physical handicap, age, height, weight, marital status, veteran status, religion and political belief (except as it relates to a bona fide occupational qualification reasonably necessary to the normal operation of the business).

9. Prevailing Wage Rates

This project does not meet the requirements for prevailing wages.

10. Payroll Taxes

The Contractor is responsible for all applicable state and federal social security benefits and unemployment taxes and agrees to indemnify and protect the Township against such liability.

V. TERMS AND CONDITIONS

1. Award:

The Town reserves the right to reject any and all bids received as a result of this RFB.

2. Low Bid:

A successful contract will be awarded by the response given on the Bid Sheet to the most responsive and responsible respondent.

3. Term of Bid:

The Bid is for a six (6) month period from the date of award.

4. Bid Submission:

Submit Bid Cover page, Bid Signature Page, and Contractor Information (page 2, II) by required time/date. Bids must be submitted by mail, email or hand delivered to Town of La Pointe Clerk, 240 Big Bay Road, PO Box 270, La Pointe, WI 54850, clerk@townoflapointewi.gov by **3:00 P.M. on March 23, 2021**. Bids will be opened at the Town Board meeting at 5:30 on March 23, 2021.

5. Questions:

Submit all questions to Ray Hakola, Town Facilities Manager, facilities@townoflapointewi.gov, 715-747-6855 or Lisa Potswald, Town Administrator at administrator@townoflapointewi.gov or call 715-747-6914.

ATTACHMENTS

Bid Cover Page.....8

Bid Signature Page.....9

Attachment A – Project Specifications...10

BID COVER – INCLUDE WITH BID RESPONSE

BIDDER: _____

PROJECT: _____

BID DUE: March 23, 2021 by 3:00 p.m.

Proposers are required to perform, provide and furnish all of the labor, materials, necessary tools, fees, permits and equipment including transportation services/fees necessary to complete the work.

INSTRUCTIONS: Please provide a total for each of the General Specifications, including preparation, cleanup, materials and grand total cost.

BID

Construction \$ _____
(per Section III. #2)

Painting \$ _____
(per Section III. #2, B)

Cleanup \$ _____
(per Section III. #2, C)

Materials \$ _____
(per Specifications)

TOTAL COST \$ _____

Possible Project Start Date: _____
(Actual start date to be negotiated)

SIGNATURE PAGE – INCLUDE WITH BID RESPONSE

Signature

Company Name

Print Name

Company Address

Title

City, State, Zip

Telephone

Federal Tax ID #

Email Address

Fax #

The above individual is authorized to sign on behalf of company submitting bid.

Bids must be signed by an official authorized to bind the contractor to its provisions for at least a period of 90 days.

Attachment A

PROPOSED DOCK SHELTER FOR:

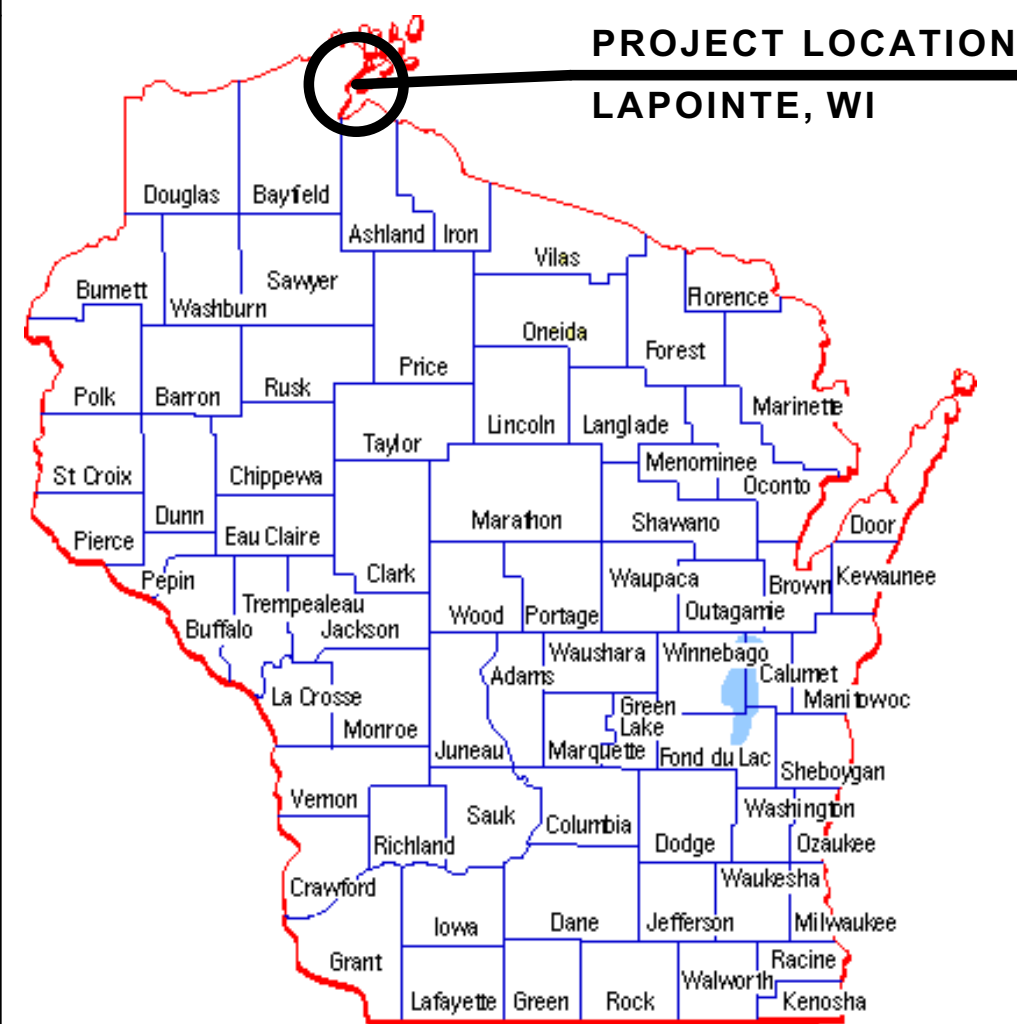
TOWN OF LAPOINTE

PO BOX 270
LAPOINTE, WI 54850

PROJECT NUMBER: 20-3477



SITE PLAN
SCALE: 1" = 40'



PROJECT LOCATION
LAPOINTE, WI

PROJECT TEAM

OWNER: TOWN OF LAPOINTE
PO BOX 270
LAPOINTE, WI 54850

ARCHITECT: C&S DESIGN & ENGINEERING, INC.
2023 6th STREET WEST
ASHLAND, WI 54806
P: 715-682-0330

STRUCTURAL ENGINEER: C&S DESIGN & ENGINEERING, INC.
2023 6th STREET WEST
ASHLAND, WI 54806
P: 715-682-0330

CONSULTANT: N/A

PLUMBING DESIGNER: N/A

HVAC ENGINEER: N/A

ELECTRICAL ENGINEER: N/A

PROJECT DATA

PROJECT NAME: TOWN OF LAPOINTE DOCK SHELTER

PROJECT ADDRESS: PO BOX 270
LAPOINTE, WI 54850

GOVERNING CODES: 2015 INTL BUILDING CODE

STRUCTURAL LOADS:
GROUND SNOW LOAD: 60 psf
ROOF SNOW LOAD: 37 psf
ROOF LIVE LOAD: 70 psf
FLOOR LIVE LOAD: 100 psf

WIND LOAD (HORIZONTAL): 32 psf
WIND LOAD (UPLIFT INTERIOR): 20 psf
WIND LOAD (UPLIFT AT EAVES): 27 psf

SOIL BEARING CAPACITY: 1,500 PSF (SANDY CLAY)
CONCRETE COMP. STRENGTH: 4,000 PSI @ 28 DAYS
REINFORCING STEEL: 60,000 PSI TENSILE (GRADE 60)

*NOTE: BUILDING IS PLACED ON EXISTING CONCRETE SYSTEM.

GENERAL NOTES

- THE CONTRACTORS ARE TO KEEP A SET OF STATE APPROVED PLANS AT THE JOB SITE AT ALL TIMES.
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE CONTRACTORS BEFORE ANY WORK COMMENCES.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE STATE BUILDING, PLUMBING, ELECTRICAL, AND HVAC CODE CURRENTLY IN EFFECT.
- ALL STATE AND LOCAL BUILDING PERMITS WILL BE OBTAINED BY THE OWNER AND MUST BE POSTED AT THE JOB SITE BY THE CONTRACTOR, U.N.O.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE, OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE DESIGN PROFESSIONAL FROM ANY CLAIM OR SUIT WHATSOEVER ARISING FROM, OR ALLEGED TO HAVE ARISEN FROM, THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
- THE WORK UNDER THE CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, FEES, INSURANCE, TAXES, ETC. FOR GENERAL CONSTRUCTION, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL CONSTRUCTION, AS APPLICABLE, FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL PRODUCTS AND MANUFACTURERS OF MATERIALS/FINISHES ETC PER ARCHITECTURAL DRAWINGS OR SPECIFICATION. SUBSTITUTIONS OF EQUAL QUALITY AND PERFORMANCE PERMITTED AS APPROVED BY DESIGN PROFESSIONAL IN CHARGE.
- ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE INSTALLED AS PER MANUF. SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS, LOCATED PER PLAN. THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE.
- THE DESIGN PROFESSIONAL WILL NOT HAVE CONTROL OVER, OR CHARGE OF, AND WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, SEQUENCE OR PROCEDURES IN REGARDS TO THE MANNER IN WHICH THE STRUCTURE IS BUILT.
- ALL PROPERTY LINES ARE ASSUMED UNLESS A CERTIFIED SURVEY MAP HAS BEEN PROVIDED FOR THE PROPERTY.
- ALL BUILDING SETBACKS ARE MEASURED FROM THE EAVE LINE OF THE BUILDING.
- THE CONTRACTOR IS TO HAVE ALL THE UTILITY LINES VERIFIED BY THE APPROPRIATE UTILITY LOCATING SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE A LOCATE DONE PRIOR TO BREAKING OF GROUND.
- THE CONTRACTOR SHALL BE AWARE OF ALL PRIVATE UTILITIES LOCATIONS SUCH AS WATER, SEWER, AND GAS.
- ALL DAMAGE TO EXISTING DRIVEWAYS, ROADWAYS, STREETS, CONCRETE SIDEWALKS, LAWNS, ETC. MUST BE RESTORED TO THE CONDITION THEY WERE BEFORE CONSTRUCTION COMMENCED.
- PROVIDE A MINIMUM OF 2% DRAINAGE SLOPE AWAY FROM THE ENTIRE PERIMETER OF THE BUILDING FOR THE FIRST 20 FEET, U.N.O.
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTING BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.
- THE GENERAL CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK, JOIN MATERIALS TO UNIFORM ACCURATE FITS SO THAT THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS. INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.
- ALL EXISTING BUILDING DIMENSIONS MUST BE FIELD VERIFIED.
- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. CONTRACTOR(S) TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES.
- ALL DIMENSIONS TO FACE OF STUD OR CONCRETE WALLS, U.N.O.
- SEE SITE PLAN FOR NOTES AND DIMENSIONS NOT SHOWN.
- SEE ELEVATIONS, INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR MATERIALS NOT CALLED OUT.
- IF APPLICABLE, THE FIRE RATINGS OF WALLS AND CEILINGS MUST BE MAINTAINED BEHIND ALL INSTALLED FIXTURES (BATH UNITS, VANITIES, CEILING FANS, ELECTRICAL BOXES, EXHAUST FANS, ETC.
- THE CONTRACTOR SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILT-INS AND FINISHES.
- THE CONTRACTOR SHALL PROVIDE ALL OPERATING AND MAINTENANCE DATA AND ALL MANUFACTURER'S, INSTALLER'S AND APPLICATOR'S GUARANTEES, BONDS, WARRANTIES AND SERVICE INSTRUCTIONS.
- CONFIRM WINDOW OR DOOR NUMBER WITH MFR. AND SITE CONDITIONS. ALL OPERABLE WINDOWS AND DOORS SHALL HAVE REMOVABLE SCREENS.
- CONTRACTOR TO VERIFY R.O. REQUIREMENTS FOR WINDOWS & EXTERIOR DOORS WITH WINDOW MANUFACTURER PRIOR TO ORDERING.
- REFERENCE ELEVATIONS AND/OR BUILDING SECTIONS FOR WINDOW OPERATIONS.
- REFER TO ENGINEERED TRUSS DRAWINGS, IF APPLICABLE, FOR PLACEMENT OF TRUSS COMPONENTS. CONTRACTOR IS TO FIELD VERIFY ALL TRUSS DIMENSIONS BEFORE PRODUCTION OF TRUSSES.
- ALL GAS PIPING INSTALLATIONS SHALL COMPLY WITH NFPA 54-2015, NATIONAL FUEL GAS CODE.

SYMBOLS

- 1 KEY NOTE
- 3:12 ROOF SLOPE & DIRECTION
- H WINDOW TAG
- 100 DOOR TAG
- SLOPE: SLOPE OF SLAB
- A # / A#.# / C INTERIOR ELEVATION TAG
- +1" STEP/ELEVATION CHANGE
- T.O. SLAB 106'-0" ELEVATION MARKER
- A WALL TYPE (SEE PLAN OR LEGEND FOR ADD. INFO)
- 4/12 ROOF SLOPE
- 1.0 GRID LINE
- 1 A200 BUILDING ELEVATION
- 1 A300 BUILDING SECTION
- 1 A401 WALL SECTION
- 1 A400 DETAIL/ENLARGED PLAN CALLOUT
- 1 A500 DETAIL CALLOUT

STANDARD ABBREVIATIONS

ABOVE FINISH FLOOR	A.F.F.	CONTRACTOR	CONTR.	FIRE EXTINGUISHER	F.E.	JANITOR	JAN.	OVERFLOW DRAIN	O.F.D.	STEEL	STL.
ACOUSTICAL CEILING TILE	ACT.	CONTROL JOINT	C.J.	FIRE EXTINGUISHER CABINET	F.E.C.	JOINT	JST	STORAGE	ST.	STOR.	ST.
ADJUSTABLE	ADJ.	COURSES	CRS.	FIRE RATED	FR	JOIST	JST	STRUCTURAL	STR.	STRUC.T	STRUC.T
ALIGN WITH BELOW	A.W.B.	CUBIC FOOT (AGE)	CF	FLASHING	FLSHG	LAMINATED	LAM.	SUSPEND (ED)	SUSP.	SUSP.	(D)
ALTERNATE	ALT.	DETAIL	DET.	FLOOR	FLR	LAVATORY	LAV.	TELEPHONE	TEL.	TEL.	TPO
ALUMINUM	ALLM.	DIA.	DIA.	FLOOR PLAN	FLRG	LEVEL	LVL	TERMOPLASTIC POLYOLEFIN	TEL.	THK.	THK.
AMERICAN DISABILITIES ACT APPROXIMATELY	ADA	DIMENSION	DIM.	FOOTING	FTG.	LIGHTING	LTG.	THICKNESS	THK.	T.O.C.	T.O.C.
BASEMENT	BSMT.	DISPENSER	DISP	FOUNDATION	FDNT.	LINE	LN.	TOP OF CONCRETE	T.O.C.	T.O.F.	T.O.F.
BEAM	BM.	DOWN	DN	FLUORESCENT	FLR	LINOLEUM	LNO.	TOP OF FOOTING	T.O.F.	T.O.R.	T.O.R.
BELOW	BELOW	DOWNSPOUT	DS	GALVANIZED	GA.	LONG LEG HORIZONTAL	LLH	TOP OF RAIL	T.O.R.	T.O.S.	T.O.S.
BITUMINOUS	BIT.	DRAWING (S)	DWG.	LOW POINT	LP.	LONG LEG VERTICAL	LLV	TOP OF STEEL	T.O.S.	T.O.W.	T.O.W.
BLOCK	BLK.	DRAINING FOUNTAIN	D.F.	MANUFACTURER	MFR.	QUANTITY	QTY.	TREAD	TREAD	TYP.	TYP.
BLOCKING	BLKG.	EACH	EA.	MASONRY	MAS.	QUARRY TILE	Q.T.	TRENCH DRAIN	T.D.	TYP.	TYP.
BOARD	BD.	ELECTRICAL	ELEC.	MASONRY OPENING	M.O.	RADIUS	R.	TYPICAL	TYP.	U.L.	U.L.
BOTTOM	BOT.	ELEVATION	ELEV.	MATERIAL	MAT.	REINFORCING	REIN.	UNDERWRITERS	U.L.	U.N.O.	U.N.O.
BOTTOM OF BRICK COURSE	B.O.	ENCLOSURE	ENCL.	MECHANICAL	MCH.	REQUIRED	REQD.	UNLESS NOTED OTHERWISE	U.N.O.	U.N.O.	U.N.O.
BUILDING	BLDG.	EQUAL	EQ.	MEMBRANE	MEMB.	RESILIENT FLOORING	RFL.	VENEER PLASTER	V.P.	V.F.	V.F.
BUILT-UP ROOFING	B.U.R.	EQUIPMENT	EQUIP.	METAL	MTL.	RETURN AIR	RET.A.	VERIFY IN FIELD	V.I.F.	VERT.	VERT.
CARPET	CPT.	EXHAUST	EXH.	MINIMUM	MIN.	REVISION	REV.	VINYL COMPOSITION TILE	V.C.T.	V.V.C.	V.V.C.
CAST-IN-PLACE	C.I.P.	EXISTING	EXST.	MISCELLANEOUS	MISC.	ROOF DRAIN	R.D.	VINYL WALL COVERING	V.V.C.	W.C.	W.C.
CAST IRON	C.I.	EXPANSION	EXP.	MOUNTED	MTD.	ROOF PLASTER	R.P.	WATER CLOSET	W.C.	W.P.	W.P.
CATCH BASIN	C.B.	EXPANSION JOINT	E.J.	NON-COMBUSTIBLE	NC.	RETURN AIR	RET.A.	WATERPROOFING	W.P.	W.F.	W.F.
CEILING	CLG.	EXPOSED	EXP.	NOT APPLICABLE	N.A.	ROUGH OPENING	R.O.	WIDE FLANGE	W.F.	W.F.	W.F.
CEMENT	CEM.	EXTERIOR	EXT.	NOT IN CONTRACT	N.I.C.	RUBBER	RUBR.	WINDOW	W.D.	W.D.	W.D.
CENTER LINE	CL	FACE OF	F.O.	NOT TO SCALE	N.T.S.	RUBBER	RUBR.	WITHOUT	W/O.	W/O.	W/O.
CERAMIC TILE	C.T.	FACE OF CONCRETE	F.O.C.	NUMBER	NT.	SECTION	SECT.	WOOD	W.D.	W.D.	W.D.
CLEARANCE	CLR.	FACE OF FINISH	F.O.F.	OCCUPANT / OCCUPANCY	OCC.	SHEET	SHT.				
CLOSET	CLO.	FACE OF MASONRY	F.O.M.	ON CENTER	O.C.	SIMILAR	SIM.				
COLUMN	COL.	FEET	F.O.M.	OPENING	O.PNG.	SOLID CORE	S.C.				
CONCRETE	CONC.	FEET	FT.	OPPOSITE	OPP.	SPECIFICATIONS	SPEC.				
CONCRETE MASONRY UNIT CONSTRUCTION	CMU CONST.	FINISH	FIN.	OPPOSITE HAND	O.H.	SQUARE	SQ.				
CONTINUOUS	CONT.	FINISH FLOOR ELEVATION	F.F.E.	OUTSIDE DIAMETER	O.D.	SQUARE FOOT (AGE)	SF				
		FINISH GRADE	F.G.			STAINLESS STEEL	STD.				
		FINISH SURFACE	F.S.			STANDARD	STD.				

INDEX TO DRAWINGS

- ATS TITLE SHEET & SITE PLAN
- A100 FLOOR PLANS
- A200 ELEVATIONS & SECTIONS
- E100 ELECTRICAL

PROPOSED DOCK SHELTER FOR:
TOWN OF LAPOINTE
PO BOX 270, LAPOINTE, WI 54850

TITLE PAGE



DESIGNED: **L.D.**

DRAWN: **B.L.W.**

SCALE: **AS NOTED**

DATE: **SEPTEMBER 2020**

PROJECT NO. **20-3477**

REVISIONS:

APPROVED:

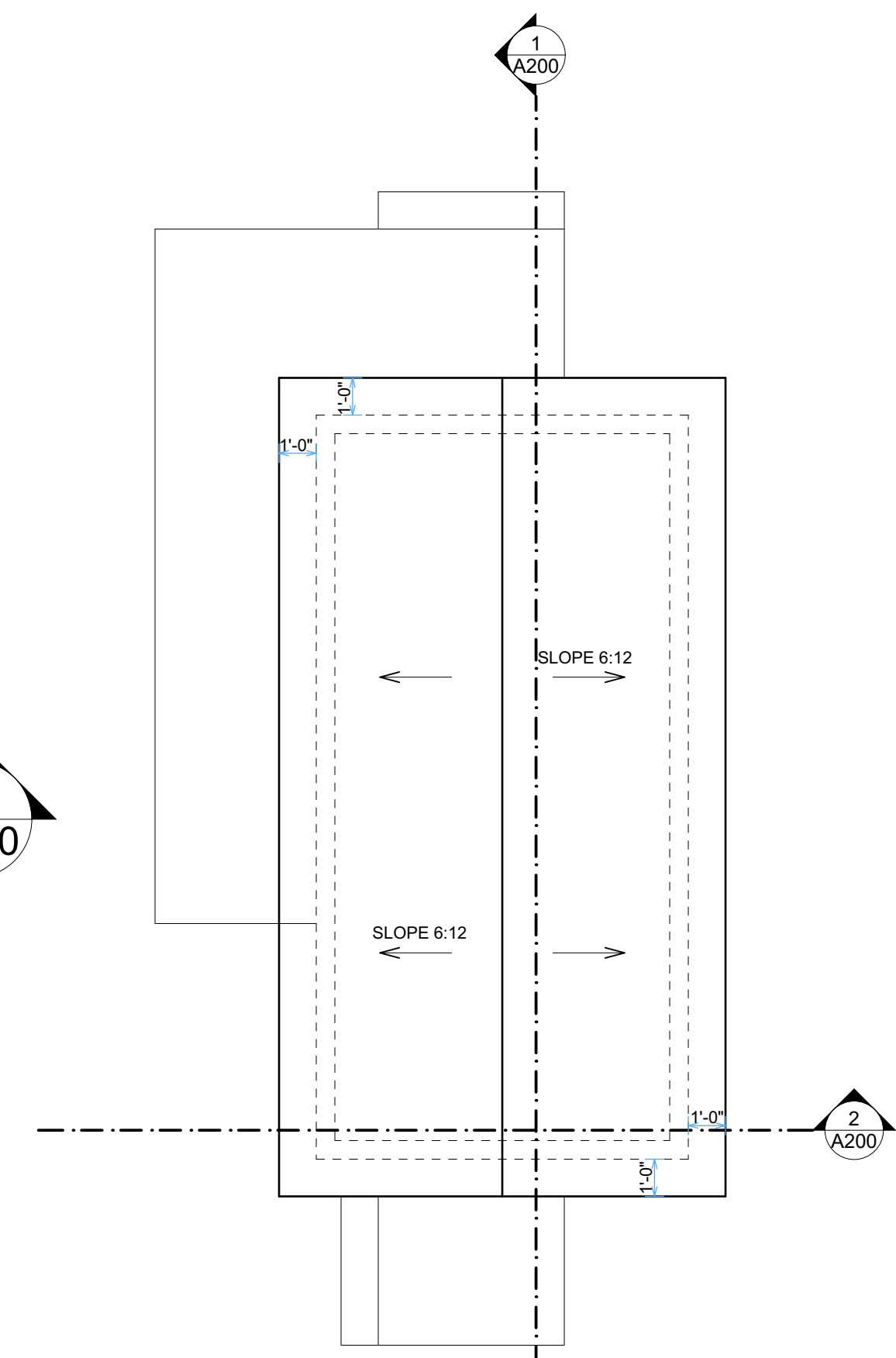
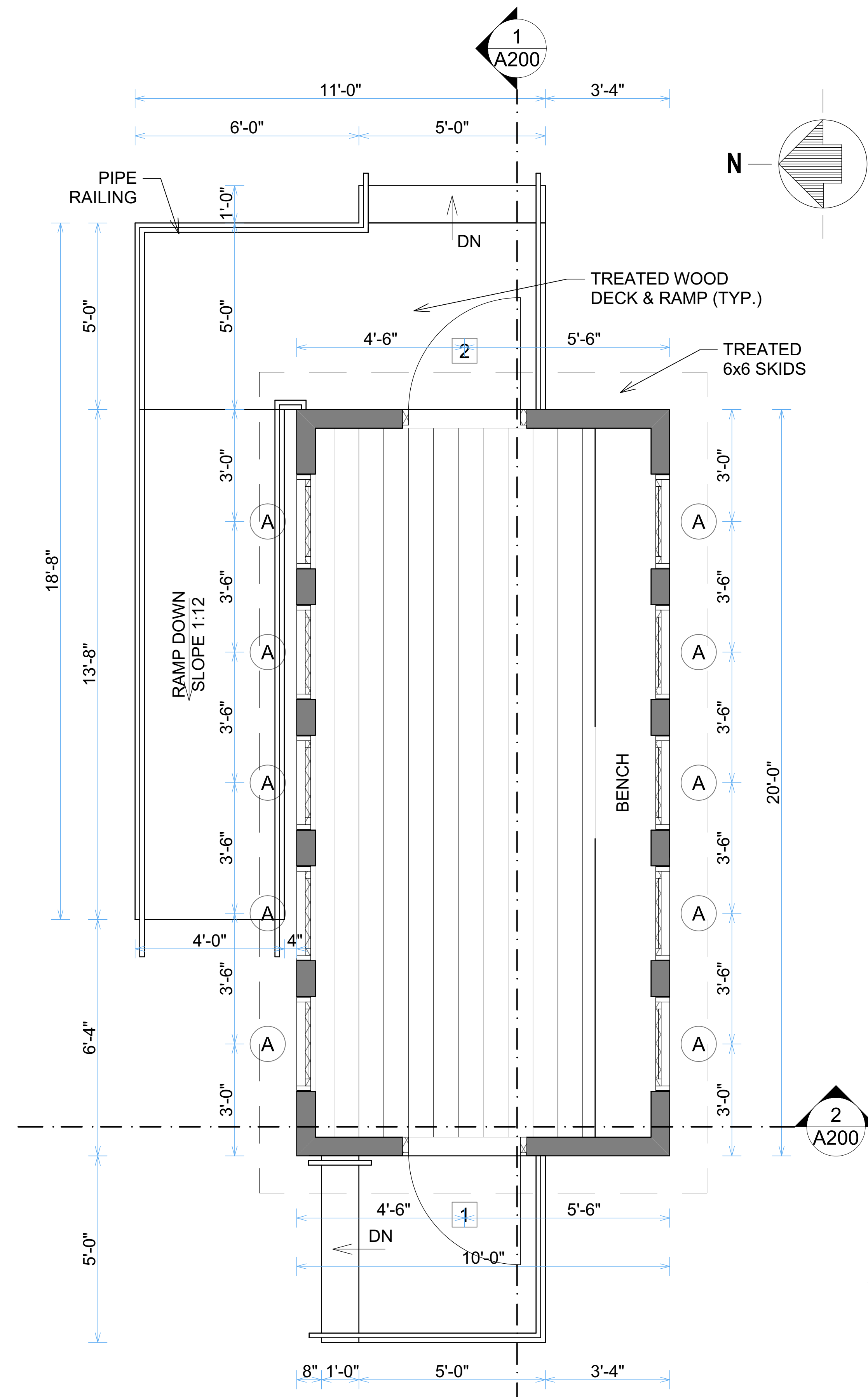
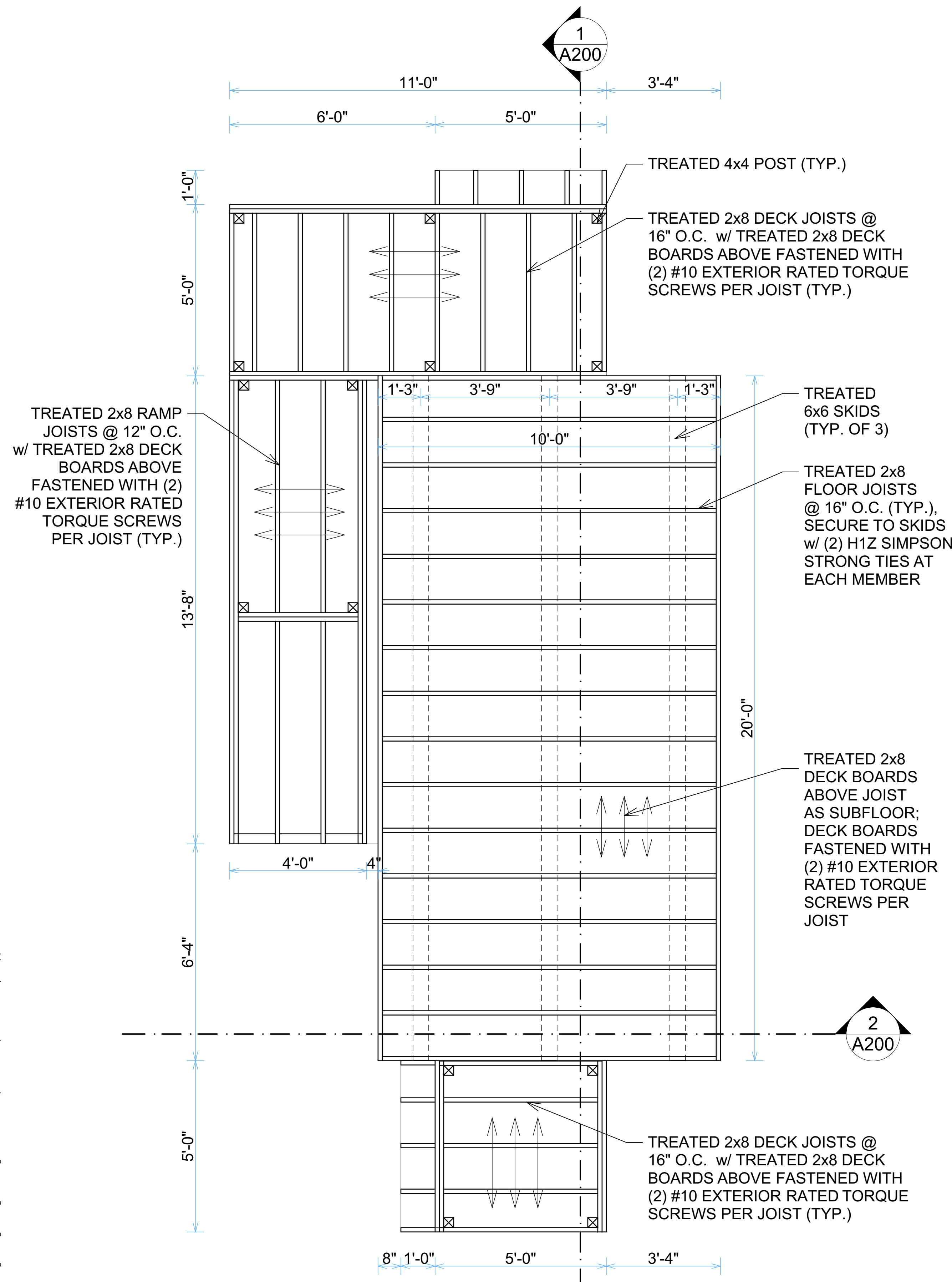
ATS

SHEET NO.

WINDOW SCHEDULE							
SYMBOL	QTY	TYPE	UNIT SIZE (WxH)	GLASS TYPE	HEADER HEIGHT	HEADER SIZE	COMMENTS
Ⓐ	10	DOUBLE HUNG VINYL WINDOW	2'-6" x 3'-6"	LAMINATED	6'-8"	2 PLY 2x6	1. CONTRACTOR SHALL VERIFY ALL SIZES WITH MANUFACTURER BEFORE ORDERING OR INSTALLING. 2. ALL WINDOWS TO BE VINYL IN COLOR SELECTED BY OWNER.

DOOR SCHEDULE							
SYMBOL	DOOR TYPE	SIZE		FRAME TYPE	DOOR HEADER	HARDWARE LOCK FUNCTION	REMARKS
		W	H				
1	HALF GLASS FIBERGLASS DOOR	3'-0"	6'-8"	WOOD	2 PLY 2x6	KEYED ENTRY LOCKSET	w CLOSER AND WEATHERSTRIPPING
2	HALF GLASS FIBERGLASS DOOR	3'-0"	6'-8"	WOOD	2 PLY 2x6	KEYED ENTRY LOCKSET	w CLOSER AND WEATHERSTRIPPING

1. CONTRACTOR SHALL VERIFY ALL SIZES WITH MANUFACTURER BEFORE ORDERING OR INSTALLING.
2. ALL DOORS SHALL BE PRE-FINISHED IN A COLOR SELECTED BY THE OWNER. JAMBS SHALL BE VINYL OR ALUMINUM CLAD AND DOOR SILL SHALL BE ROT RESISTANT.



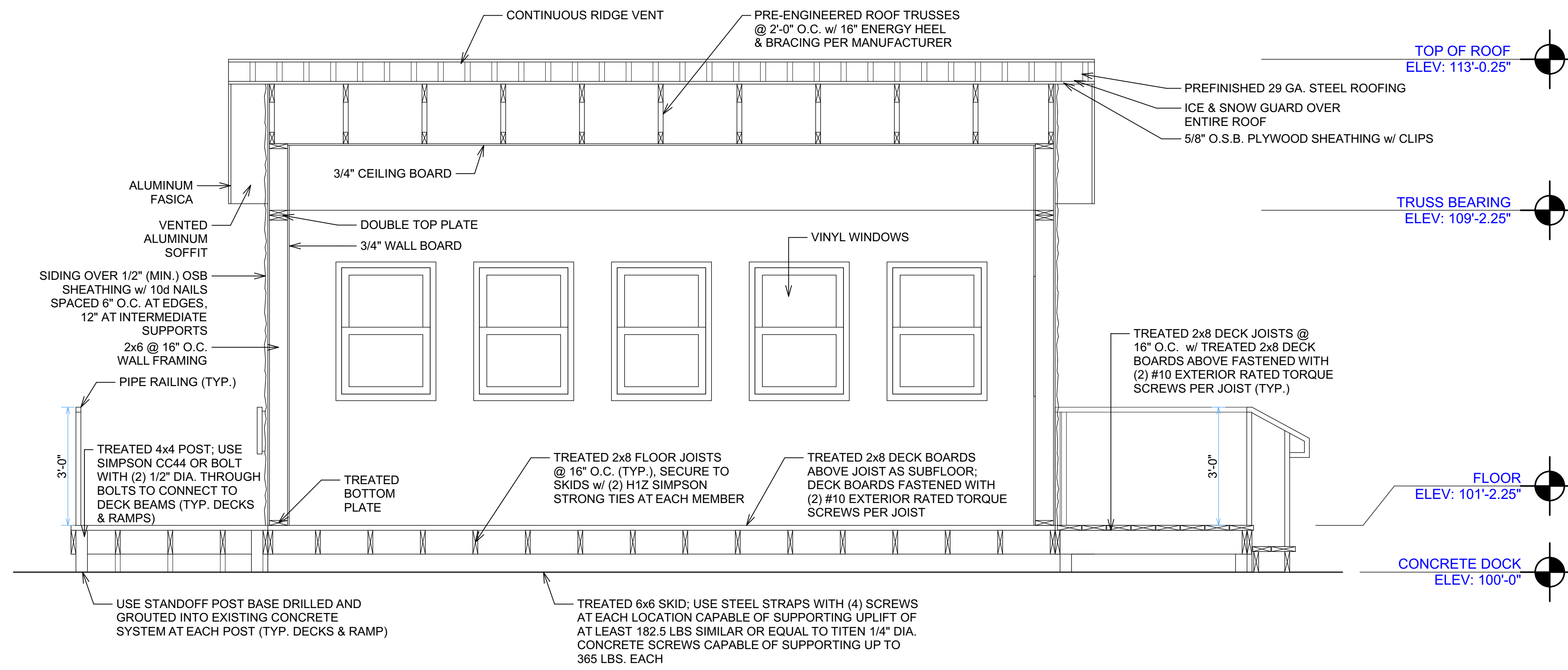
© Copyright 2020 C&S Design & Engineering, Inc. All rights reserved. Any use without permission is expressly prohibited. Plotted 9/17/2020 6:58 PM

PROPOSED DOCK SHELTER FOR:
TOWN OF LAPOINTE
PO BOX 270, LAPOINTE, WI 54850
FLOOR PLANS

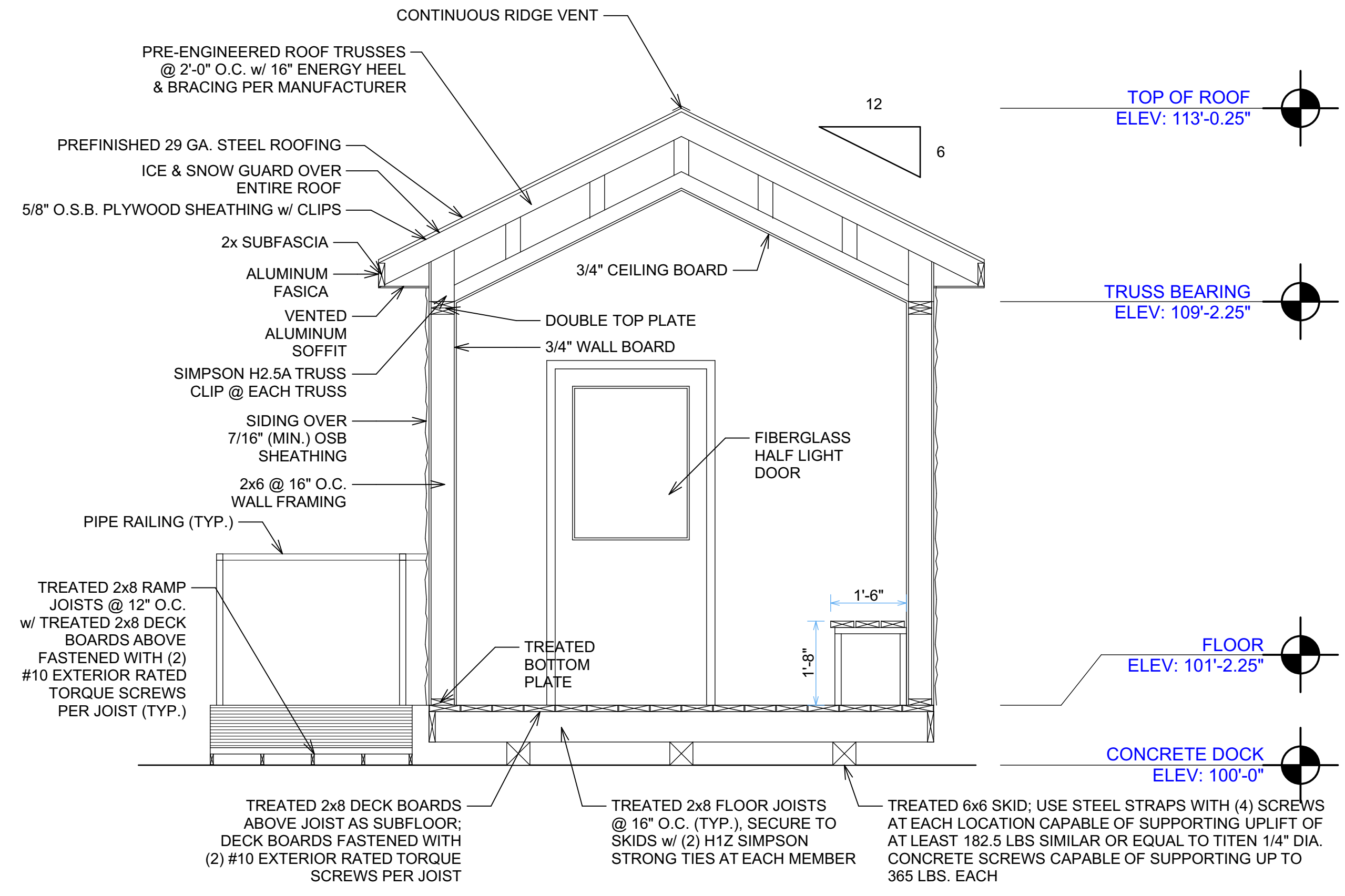
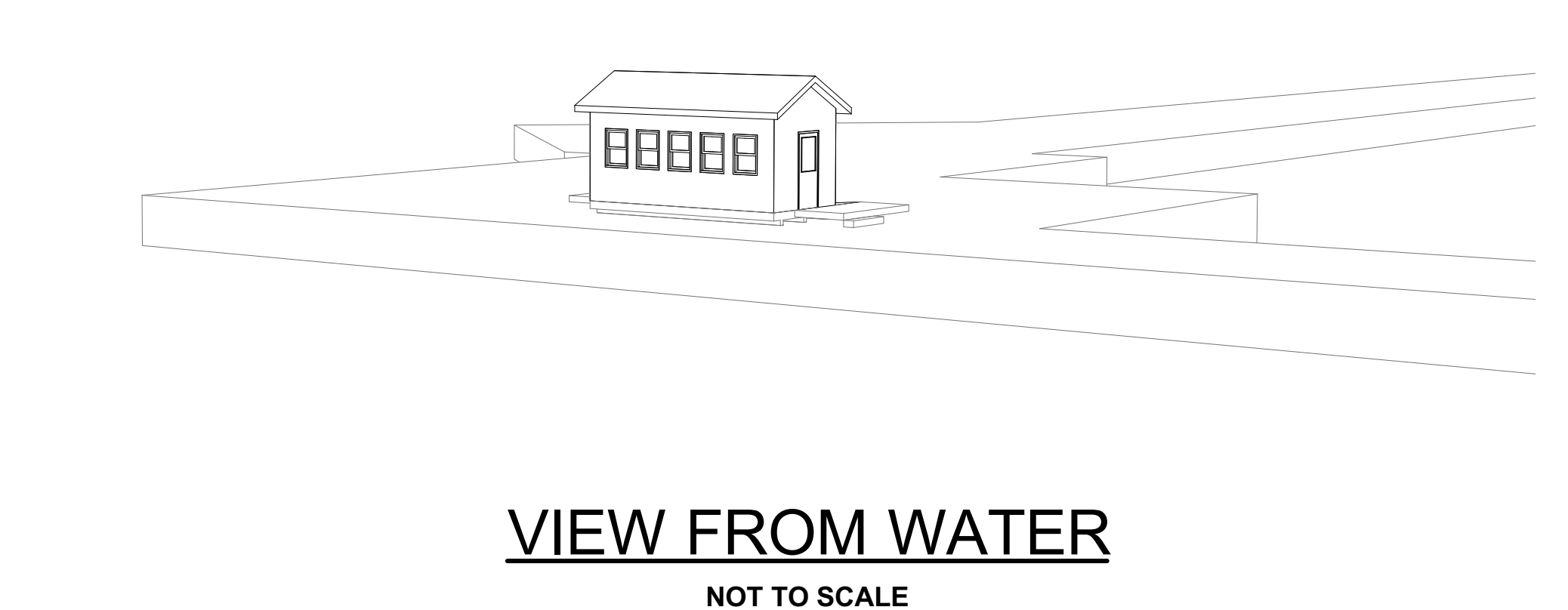
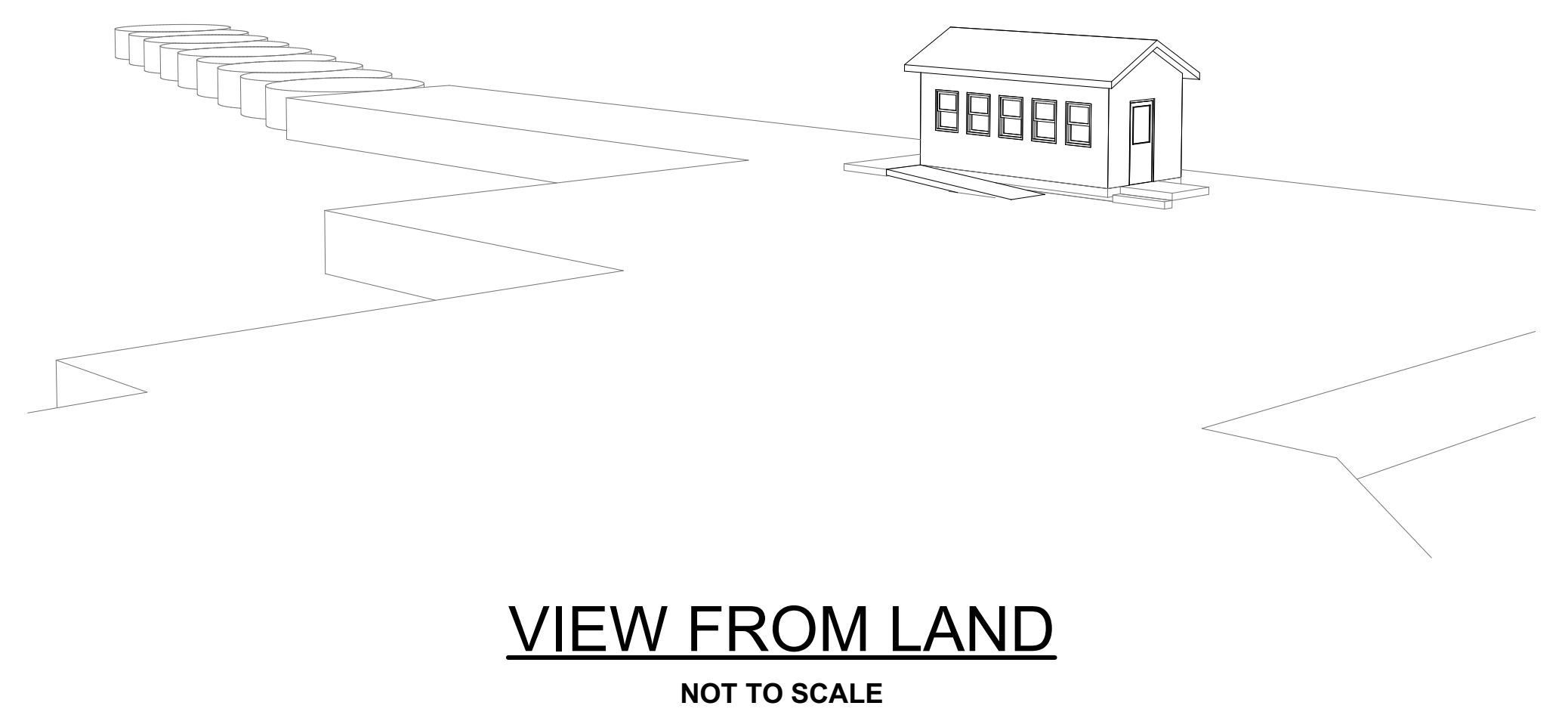
DESIGN & ENGINEERING
with framework design inc
2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdengineering.com

DESIGNED:	L.D.
DRAWN:	B.L.W.
SCALE:	AS NOTED
DATE:	SEPTEMBER 2020
PROJECT NO.:	20-3477
REVISIONS:	
APPROVED:	

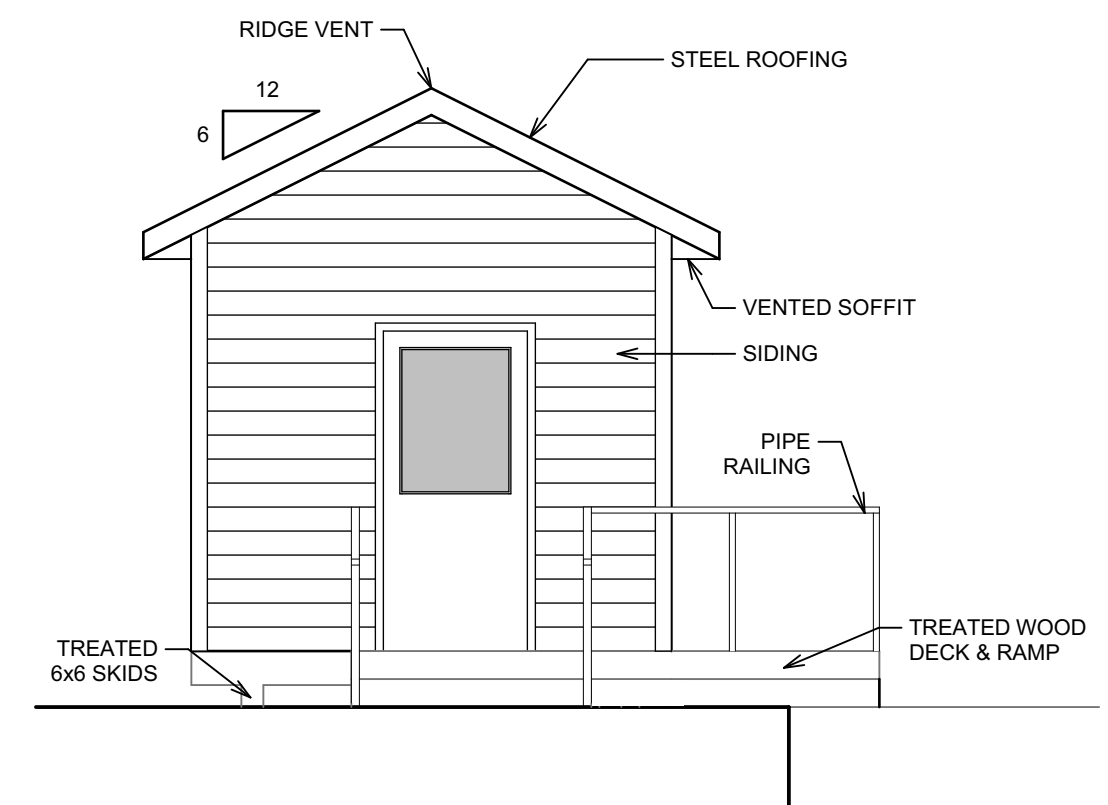
SHEET NO.
A100



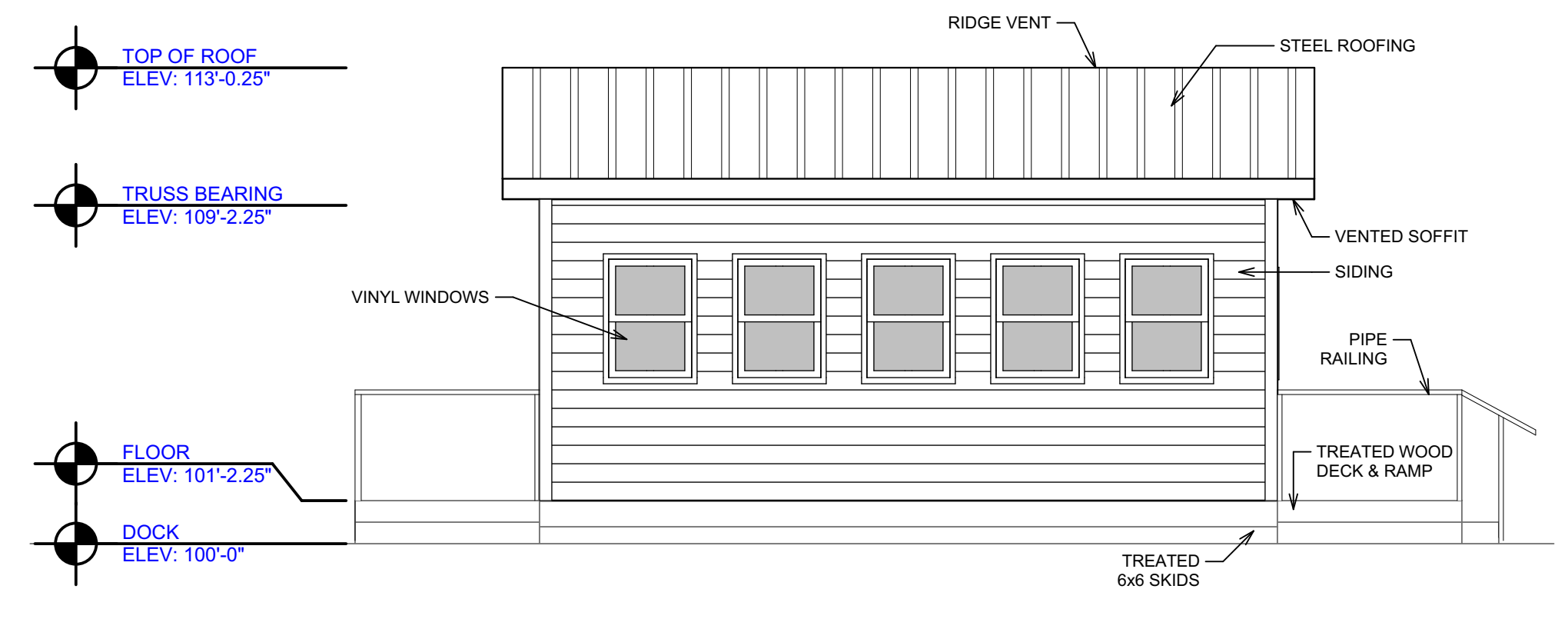
CROSS SECTION 1/A200
SCALE: 1/2" = 1'-0"



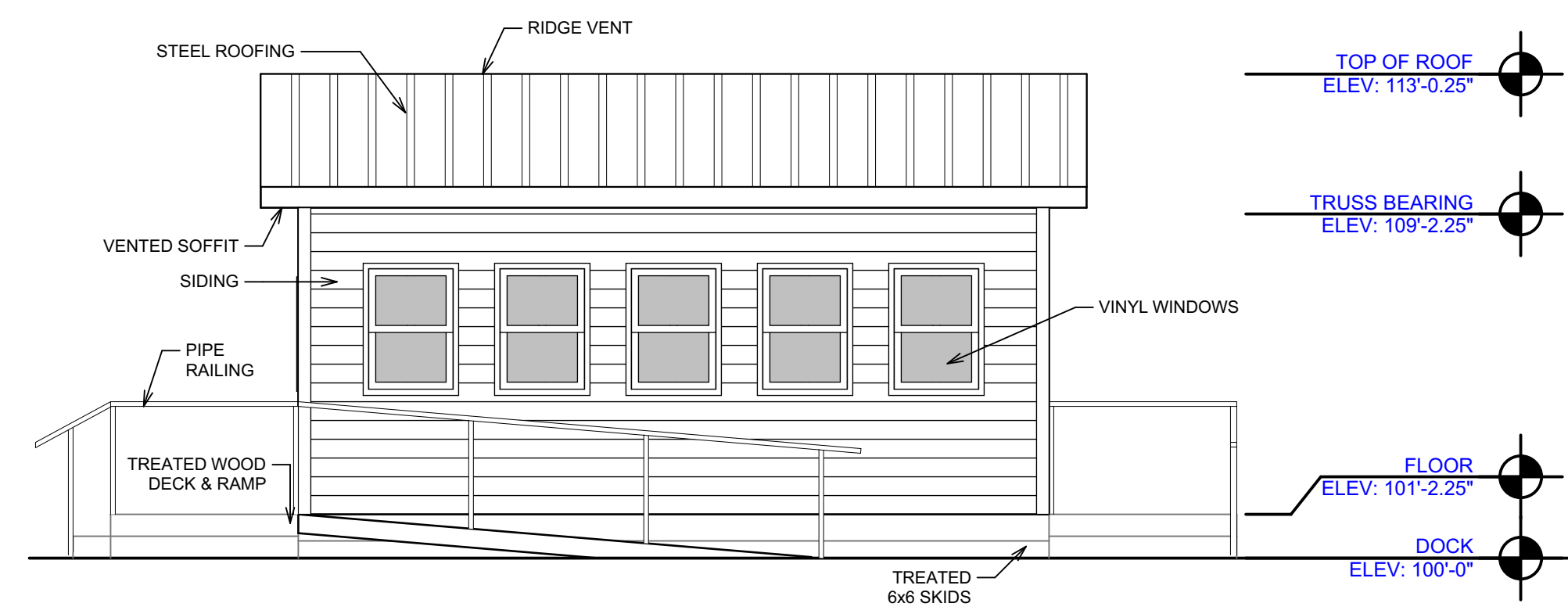
CROSS SECTION 2/A200
SCALE: 1/2" = 1'-0"



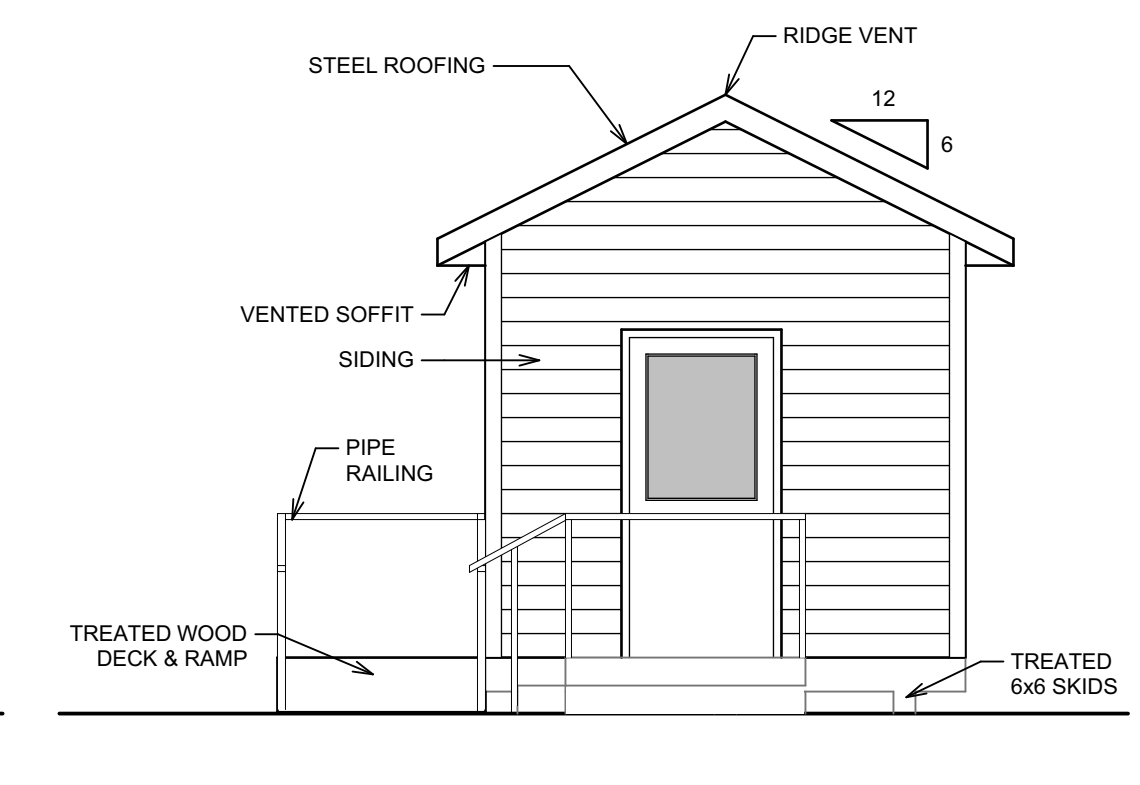
WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

© Copyright 2020 C&S Design & Engineering, Inc. All rights reserved. Any use without permission is expressly prohibited. Printed 9/17/2020 6:58 PM

PROPOSED DOCK SHELTER FOR:
TOWN OF LAPOINTE
PO BOX 270, LAPOINTE, WI 54850
ELEVATIONS & SECTIONS

DESIGN & ENGINEERING
with framework design inc
2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdengineering.com

DESIGNED: **L.D.**
DRAWN: **B.L.W.**
SCALE: **AS NOTED**
DATE: **SEPTEMBER 2020**
PROJECT NO.: **20-3477**

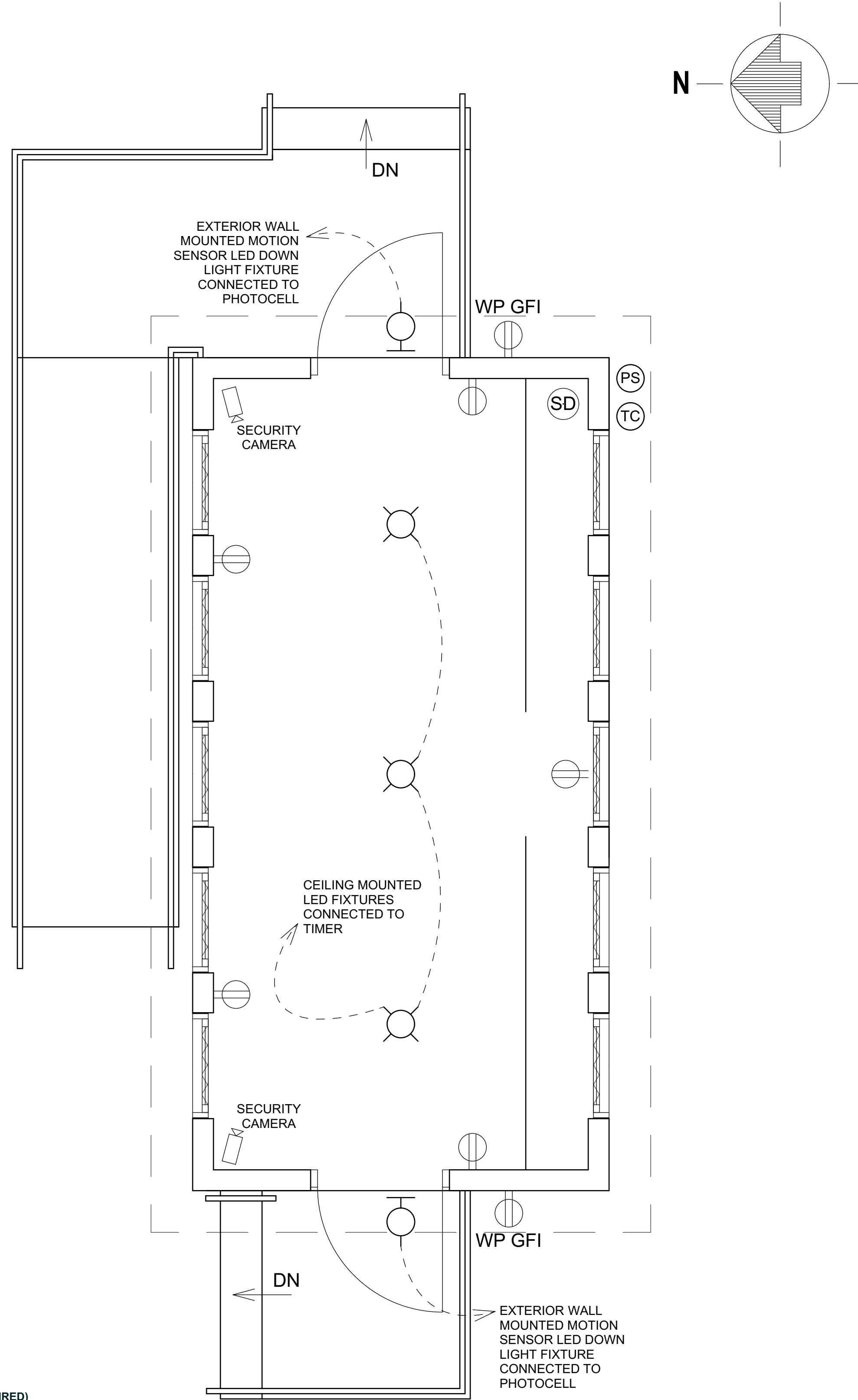
REVISIONS:

APPROVED:

SHEET NO.: **A200**

ELECTRICAL SYMBOLS

- ⏏ SWITCH
- ⊕ DUPLEX RECEPTACLE
- ⊕ WP GFI WEATHERPROOF GFI RECEPTACLE
- ⊙ CEILING MOUNTED LIGHT FIXTURE
- ⊙ WALL MOUNTED LIGHT FIXTURE
- ⊙ EXIT LIGHT W/ DUAL REMOTE HEADS
- ⊙ PHOTOCELL SENSOR
- ⊙ TIME CLOCK
- ⊙ SMOKE DETECTOR (INTERCONNECTED AND HARD WIRED)



ELECTRICAL PLAN

SCALE: 1/2" = 1'-0"

PROPOSED DOCK SHELTER FOR:
TOWN OF LAPOINTE
 PO BOX 270, LAPOINTE, WI 54850
ELECTRICAL PLAN

DESIGN & ENGINEERING
 with framework design inc
 2023 6th Street West, Ashland, WI 54806
 Telephone (715) 682-0330 www.csdesignengineering.com

DESIGNED:	L.D.
DRAWN:	B.L.W.
SCALE:	AS NOTED
DATE:	SEPTEMBER 2020
PROJECT NO.	20-3477

REVISIONS:	

APPROVED:	
-----------	--

SHEET NO.	E100
-----------	-------------