

(5)TB, Lisa, Barb, Micaela,  
Ben, Public

**REQUEST FOR BID – CONSTRUCT A PASSENGERS' SHELTER**

**TOWN OF LA POINTE, WISCONSIN**

**BID DUE DATE: TUESDAY, MARCH 23, 2021, BY 3:00 P.M.**

Sealed bids marked "Passengers' Shelter" will be received no later than the date and time listed above. Bids will be accepted by Town of La Pointe Clerk, PO Box 270, La Pointe, WI. 54850.

**Bids will be opened at the La Pointe Town Hall on Tuesday, March 23, 2021 at 5:30 p.m.**

Work includes but is not limited to: Construct an approximate 10' x 20' uninsulated structure to house passengers waiting to board the Madeline Island Ferry Line on the Town Dock according to plan specifications.

Bid forms should be obtained from the Town Clerk, phone 715-747-6913, or at [clerk@townoflapointewi.gov](mailto:clerk@townoflapointewi.gov). Digital documents (PDF) may be obtained via email or at [www.townoflapointewi.gov](http://www.townoflapointewi.gov). Faxed bids will not be accepted.

The Town reserves the right to reject any and all bids.

Date: February 24, 2021

RECEIVED

FEB 17 2021

Initial: dg

## TOWN OF LA POINTE REQUEST FOR BIDS

La Pointe, WI 54850

Posted February 24, 2021

**BIDS ARE DUE: MARCH 23, 2021 BY 3:00 P.M.**

Town Clerk

La Pointe Town Hall, 240 Big Bay Road, PO Box 270, La Pointe, WI 54850

[clerk@townoflapointewi.gov](mailto:clerk@townoflapointewi.gov)

Bids will be opened at the 5:30 P.M. Town Board meeting on March 23, 2021

### I. BID

#### 1. DEFINITIONS:

"Town" is Town of La Pointe, Wisconsin

"Bidder" is an individual or business submitting a bid to the Town

"Contractor" is one who contracts to perform services in accordance with a contract.

"RFB" is Request for Bid.

#### 2. PURPOSE OF BID

The Town of La Pointe is in need of hiring a qualified contractor to construct a passenger shelter to be installed on the Town of La Pointe dock, located in La Pointe, WI 54850 (Madeline Island).

#### Bid Terms:

- A. The Town reserves the right to reject any or all bids for no reason.
- B. Bids must be signed by an official authorized to bind the contractor to its provisions for at least a period of 90 days. Failure of the successful proposer to accept the obligation of the bid may result in the cancellation of any award.
- C. In the event it becomes necessary to revise any part of the RFB, addenda will be provided. Deadlines for submission of the RFB's may be adjusted to allow for revisions. To be considered, one bid must be mailed to the Town Clerk or delivered to the Town Hall on or before the date and time specified.
- D. Bids should be prepared simply and economically, providing a straight-forward concise description of the contractor's ability to meet the requirements of the RFB.

- E. A formal written contract will be executed between the Town and the awarded contractor.
- F. In the event the Town receives two or more bids from responsive, responsible proposers, the Town may award the contract to the most responsive and responsible contractor based on previous history.

## **II. BID SPECIFICATIONS**

The bid shall include all of the following information. Failure to include all of the required information may result in disqualification of a bid.

- 1. Contractor's qualifications, years in business, and experience in providing the level and type of services specified in the bid.
- 2. Bank References with name and phone number of contact person.
- 3. At least three (3) current references using similar services listed in the bid. Include company name, contact name and phone number.

## **III. GENERAL SPECIFICATIONS**

### **1. Site Details**

A. Job should be completed by July 1, 2021.

B. The bidder shall, before submitting the bid, carefully examine the proposal, plans, specifications, and contract documents. The bidder shall inspect in detail the site of the proposed work and be familiar with all the local conditions affecting the contract. If successful, the bidder will be responsible for all errors in the proposal resulting from failure or neglect to comply with these instructions. The Town will, in no case, be responsible for any change in anticipated profits resulting from such failure or neglect.

### **2. Project Specifications**

A. Please see attached plans and specifications prepared by C & S Design, Ashland, WI.

B. Paint brand choices and color to be determined by Town.

C. Contractor shall, at all times, keep the site free from accumulation of waste materials, debris or rubbish caused by his or her employees at work. Contractor shall remove from the site all tools, surplus materials, debris or rubbish and shall leave the site and the work in a neat and orderly fashion at the completion of the work.

D. Arrangements may be made, in advance, for leased waste containers for disposal of the above to haul off the Island.

All foregoing provisions shall be considered part of the contract document and are hereby made a part of and applicable to all work under these specifications.

#### **IV. CONTRACT PROVISIONS**

If a contract is awarded, the selected contractor will be required to adhere to a set of general contract provisions which will become a part of any formal agreement.

##### **1. Reporting of Contractor**

- A. The Contractor is to report to the Town of La Pointe Facilities Manager and/or designee and will cooperate and confer as necessary to insure satisfactory work progress.
- B. All reports, estimates, memoranda and documents submitted by the Contractor must be dated and bear the Contractor's name.
- C. All reports made in connection with these services are subject to review and final approval by the Facilities Manager prior to payment.
- D. The Town may review and inspect the Contractor's activities during the term of this contract.
- E. Lien waivers must be put in place for all subcontractors and materials purchased.
- F. Contractor is responsible for all expenses related to transportation of staff and materials and disposal of debris.
- G. Contract must secure all necessary permits according to local and state laws and regulations.

##### **2. Personnel**

- A. The Contractor will not hire any Town employee for any of the required services without the Town's written approval.

- B. The parties agree that the Contractor is neither an employee nor an agent of the Town for any purpose.

### **3. Indemnification Agreement**

The Contractor will protect, defend and indemnify the Town, its officers, agents, assigns, volunteers and employees from any and all liabilities, claims, liens, fines, demands and costs, including legal fees, of whatsoever kind and nature which may result in injury or death to any persons, including the Contractor's own employees, and for loss or damage to any property, including property owned or in the care, custody or control of the Town in connection with or in any way incident to or arising out of the occupancy, use service, operations, performance or non-performance of work in connection with this contract resulting in whole or in part from negligent acts or omissions of contractor, any sub-contractor, or any employee, agent or representative of the contractor or any sub-contractor.

### **4. Insurance Requirements**

The Contractor will maintain at its own expense during the term of this Contract, the following insurance:

- A. Workers' Compensation insurance with Wisconsin statutory limits and Employers Liability Insurance with a minimum limit of \$100,000 each accident for any employee.
- B. Commercial General Liability insurance with a combined single limit of \$1,000,000 each occurrence for bodily injury and property damage. The Township shall be added as "additional insured" on general liability policy with respect to the services provided under this contract.
- C. Automobile Liability Insurance covering all owned, hired and non-owned vehicles with Personal Protection Insurance and Property Protection Insurance, including residual liability insurance with a minimum combined single limit of \$1,000,000 each accident for bodily injury and property damage.
- D. Contractor shall furnish the Town Administrator with satisfactory certificates of insurance or a certified copy of the policy, if requested.

No payments will be made to the Contractor until the current certificates of insurance have been received and approved by the Town Administrator. If the insurance as evidenced by the certificates furnished by the Contractor expires or is canceled during the term of the contract, services and related payments will be suspended. Contractor shall furnish the Town Administrator with certification of insurance evidencing such coverage and endorsements at

least ten (10) working days prior to the commencement of services under this contract and shall provide for 30-day written notice to the Certificate holder of cancellation of coverage.

#### **5. Warranty**

The Town requires a one-year warranty on labor.

#### **6. Compliance with Laws and Regulations**

The Contractor will comply with all federal, state and local regulations, including but not limited to all applicable OSHA requirements and the Americans with Disabilities Act.

#### **7. Interest of Contractor and Town**

The Contractor promises that it has no interest which would conflict with the performance or services required by this contract. The Contractor also promises that in the performance of this contract, no officer, agent, employee of the Town or member of its governing body, may participate in any decision relating to this contract which affects his/her personal interest or the interest of any corporation, partnership or association in which he/she is directly or indirectly interested or has any personal or pecuniary interest.

#### **8. Equal Employment Opportunity**

The Contractor will not discriminate against any employee or applicant for employment because of race, creed, color, sex, sexual orientation, national origin, physical handicap, age, height, weight, marital status, veteran status, religion and political belief (except as it relates to a bona fide occupational qualification reasonably necessary to the normal operation of the business).

#### **9. Prevailing Wage Rates**

This project does not meet the requirements for prevailing wages.

#### **10. Payroll Taxes**

The Contractor is responsible for all applicable state and federal social security benefits and unemployment taxes and agrees to indemnify and protect the Township against such liability.

### **V. TERMS AND CONDITIONS**

#### **1. Award:**

The Town reserves the right to reject any and all bids received as a result of this RFB.

**2. Low Bid:**

A successful contract will be awarded by the response given on the Bid Sheet to the most responsive and responsible respondent.

**3. Term of Bid:**

The Bid is for a six (6) month period from the date of award.

**4. Bid Submission:**

Submit Bid Cover page, Bid Signature Page, and Contractor Information (page 2, II) by required time/date. Bids must be submitted by mail, email or hand delivered to Town of La Pointe Clerk, 240 Big Bay Road, PO Box 270, La Pointe, WI 54850, [clerk@townoflapointewi.gov](mailto:clerk@townoflapointewi.gov) by **3:00 P.M. on March 23, 2021**. Bids will be opened at the Town Board meeting at 5:30 on March 23, 2021.

**5. Questions:**

Submit all questions to Ray Hakola, Town Facilities Manager, [facilities@townoflapointewi.gov](mailto:facilities@townoflapointewi.gov), 715-747-6855 or Lisa Potswald, Town Administrator at [administrator@townoflapointewi.gov](mailto:administrator@townoflapointewi.gov) or call 715-747-6914.

**ATTACHMENTS**

**Bid Cover Page.....8**

**Bid Signature Page.....9**

**Attachment A – Project Specifications...10**

**BID COVER – INCLUDE WITH BID RESPONSE**

**BIDDER:** \_\_\_\_\_

**PROJECT:** \_\_\_\_\_

**BID DUE:**      **March 23, 2021 by 3:00 p.m.**

Proposers are required to perform, provide and furnish all of the labor, materials, necessary tools, fees, permits and equipment including transportation services/fees necessary to complete the work.

**INSTRUCTIONS:** Please provide a total for each of the General Specifications, including preparation, cleanup, materials and grand total cost.

**BID**

**Construction**      \$ \_\_\_\_\_  
(per Section III. #2)

**Painting**      \$ \_\_\_\_\_  
(per Section III. #2, B)

**Cleanup**      \$ \_\_\_\_\_  
(per Section III. #2, C)

**Materials**      \$ \_\_\_\_\_  
(per Specifications)

**TOTAL COST**      \$ \_\_\_\_\_

**Possible Project Start Date:** \_\_\_\_\_  
(Actual start date to be negotiated)



**SIGNATURE PAGE – INCLUDE WITH BID RESPONSE**

\_\_\_\_\_  
**Signature**

\_\_\_\_\_  
**Company Name**

\_\_\_\_\_  
**Print Name**

\_\_\_\_\_  
**Company Address**

\_\_\_\_\_  
**Title**

\_\_\_\_\_  
**City, State, Zip**

\_\_\_\_\_  
**Telephone**

\_\_\_\_\_  
**Federal Tax ID #**

\_\_\_\_\_  
**Email Address**

\_\_\_\_\_  
**Fax #**

The above individual is authorized to sign on behalf of company submitting bid.

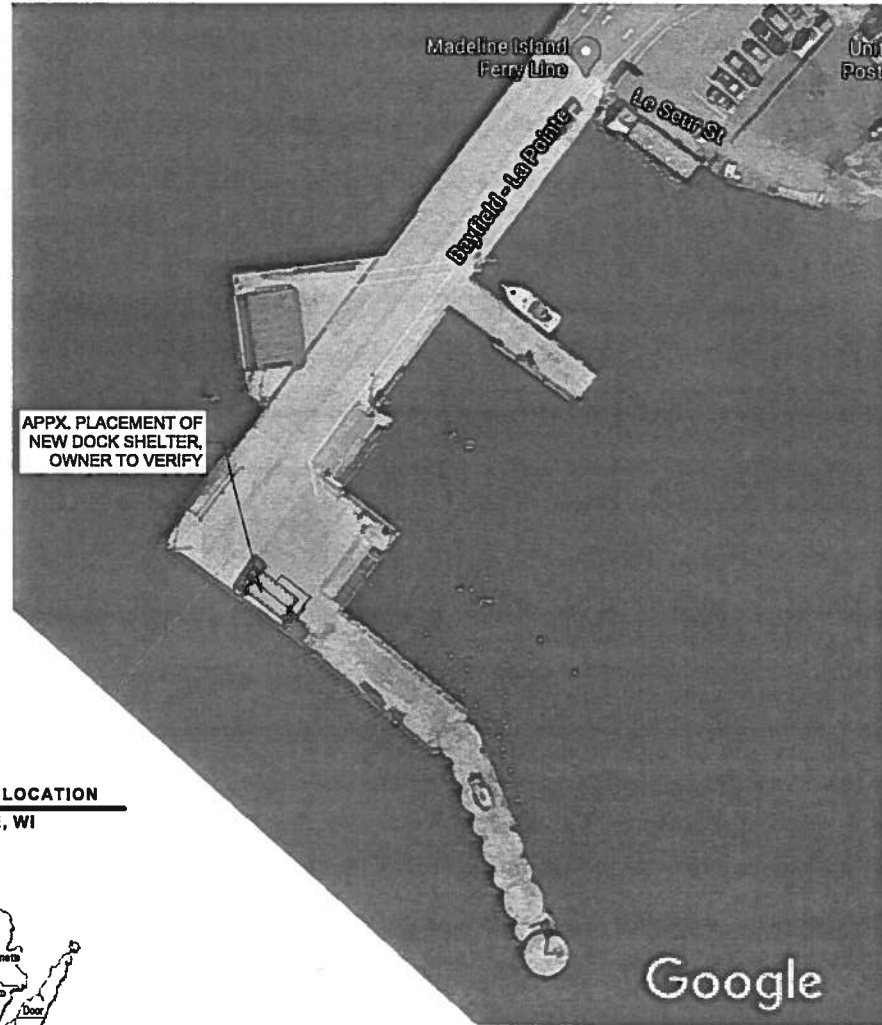
Bids must be signed by an official authorized to bind the contractor to its provisions for at least a period of 90 days.

PROPOSED DOCK SHELTER FOR:

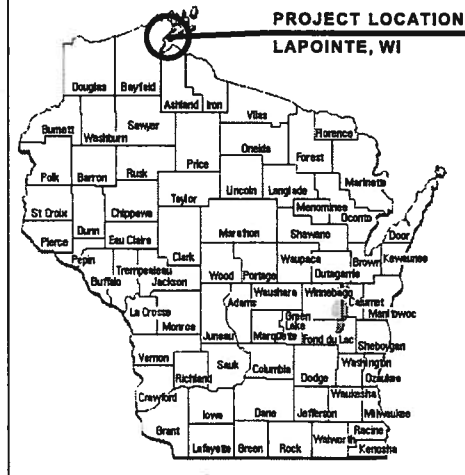
TOWN OF LAPOINTE

PO BOX 270 LAPOINTE, WI 54850

PROJECT NUMBER: 20-3477



SITE PLAN SCALE: 1" = 40'



PROJECT TEAM table listing Owner (Town of LaPointe), Architect (CAS Design & Engineering, Inc.), Structural Engineer (CAS Design & Engineering, Inc.), Consultant (N/A), Plumbing Designer (N/A), HVAC Engineer (N/A), and Electrical Engineer (N/A).

PROJECT DATA table listing Project Name (Town of LaPointe Dock Shelter), Project Address (PO Box 270, LaPointe, WI 54850), and Governing Codes (2015 IBC Building Code). It also includes structural loads for ground snow, roof snow, roof live, and floor live loads, as well as wind and soil bearing capacity information.

SYMBOLS table defining architectural symbols for key notes, roof slope & direction, window tags, door tags, slope of slab, interior elevation tags, step/elevation changes, elevation markers, wall types, roof slopes, grid lines, building elevations, building sections, wall sections, detail/enlarged plan callouts, and detail callouts.

STANDARD ABBREVIATIONS table listing common construction abbreviations such as A.F.F. (Above Finish Floor), A.C.T. (Acoustical Ceiling Tile), and others.

PROJECT DATA table (continued) listing structural loads, wind loads, soil bearing capacity, and a note that the building is placed on an existing concrete system.

- 1. THE CONTRACTOR SHALL KEEP A SET OF STATE APPROVED PLANS AT THE JOB SITE AT ALL TIMES.
2. A PRE-CONSTRUCTION MEETING WILL BE HELD WITH THE CONTRACTORS BEFORE ANY WORK COMMENCES.
3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE STATE BUILDING, PLUMBING, ELECTRICAL, AND HVAC CODE CURRENTLY IN EFFECT.
4. ALL STATE AND LOCAL BUILDING PERMITS WILL BE OBTAINED BY THE OWNER AND MUST BE POSTED AT THE JOB SITE BY THE CONTRACTOR, U.I.C.O.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION.
6. THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE DESIGN PROFESSIONAL FROM ANY CLAIM OR SUIT WHATSOEVER ARISING FROM, OR ALLEGED TO HAVE AROSE FROM, THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
7. THE WORK UNDER THE CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, FEES, INSURANCE, TAXES, ETC. FOR GENERAL CONSTRUCTION, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL CONSTRUCTION, AS APPLICABLE FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.
8. ALL PRODUCTS AND MANUFACTURERS OF MATERIALS SHALL BE IDENTIFIED ON ARCHITECTURAL DRAWINGS OR SPECIFICATION. SUBSTITUTIONS OF EQUAL QUALITY AND PERFORMANCE PERMITTED AS APPROVED BY DESIGN PROFESSIONAL IN CHARGE.
9. ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE INSTALLED AS PER MANUF. SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS, LOCATED PER PLAN.
10. THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE.
11. THE DESIGN PROFESSIONAL WILL NOT HAVE CONTROL OVER OR CHARGE OF AND WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, SEQUENCE OR PROCEDURES IN REGARDS TO THE MANNER IN WHICH THE STRUCTURE IS BUILT.
12. ALL PROPERTY LINES ARE ASSUMED UNLESS A CERTIFIED SURVEY MAP HAS BEEN PROVIDED FOR THE PROPERTY.
13. ALL BUILDING SETBACKS ARE MEASURED FROM THE EAVE LINE OF THE BUILDING.
14. THE CONTRACTOR IS TO HAVE ALL THE UTILITY LINES VERIFIED BY THE APPROPRIATE UTILITY LOCATING SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE A LOCATE DONE PRIOR TO BREAKING OF GROUND.
15. THE CONTRACTOR SHALL BE AWARE OF ALL PRIVATE UTILITIES LOCATIONS SUCH AS WATER, SEWER, AND GAS.
16. ALL DAMAGE TO EXISTING DRIVEWAYS, ROADWAYS, STREETS, CONCRETE SIDEWALKS, LAWNS, ETC. MUST BE RESTORED TO THE CONDITION THEY WERE BEFORE CONSTRUCTION COMMENCED.
17. PROVIDE A MINIMUM OF 2% DRAINAGE SLOPE AWAY FROM THE ENTIRE PERIMETER OF THE BUILDING FOR THE FIRST 20 FEET, U.I.C.O.
18. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTING BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.
19. THE GENERAL CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK: JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THAT THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS; INITIAL EXPOSED MATERIALS APPROPRIATELY LEVEL, FLUSH AND ACCURATE RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.
20. ALL EXISTING BUILDING DIMENSIONS MUST BE FIELD VERIFIED.
21. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. CONTRACTOR(S) TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES.
22. ALL DIMENSIONS TO FACE OF STUD OR CONCRETE WALLS, U.I.C.O.
23. SEE SITE PLAN FOR NOTES AND DIMENSIONS NOT SHOWN.
24. SEE ELEVATIONS, INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR MATERIALS NOT CALLED OUT.
25. IF APPLICABLE, THE FIRE RATING OF WALLS AND CEILINGS MUST BE MAINTAINED BEHIND ALL INSTALLED FIXTURES (BATH UNITS, VANITIES, CEILING FANS, ELECTRICAL BOXES, EXHAUST FANS, ETC).
26. THE CONTRACTOR SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILT-INS AND FINISHES.
27. THE CONTRACTOR SHALL PROVIDE ALL OPERATING AND MAINTENANCE DATA AND ALL MANUFACTURER'S, INSTALLER'S AND APPLICATOR'S GUARANTEES, BONDS, WARRANTIES AND SERVICE INSTRUCTIONS.
28. CONFIRM WINDOW OR DOOR NUMBER WITH MFR. AND SITE CONDITIONS. ALL OPERABLE WINDOWS AND DOORS SHALL HAVE REMOVABLE SCREENS.
29. CONTRACTOR TO VERIFY R.O. REQUIREMENTS FOR WINDOWS & EXTERIOR DOORS WITH WINDOW MANUFACTURER PRIOR TO ORDERING.
30. REFERENCE ELEVATIONS AND/OR BUILDING SECTIONS FOR WINDOW OPENING.
31. REFER TO ENGINEERED TRUSS DRAWINGS, IF APPLICABLE, FOR PLACEMENT OF TRUSS COMPONENTS. CONTRACTOR IS TO FIELD VERIFY ALL TRUSS DIMENSIONS BEFORE PRODUCTION OF TRUSSES.
32. ALL GAS PIPING INSTALLATIONS SHALL COMPLY WITH NFPA 54-2015 NATIONAL FUEL GAS CODE.

INDEX TO DRAWINGS table listing drawing titles and sheet numbers: ATS TITLE SHEET & SITE PLAN, A100 FLOOR PLANS, A200 ELEVATIONS & SECTIONS, E100 ELECTRICAL.

PROPOSED DOCK SHELTER FOR: TOWN OF LAPOINTE PO BOX 270, LAPOINTE, WI 54850 TITLE PAGE

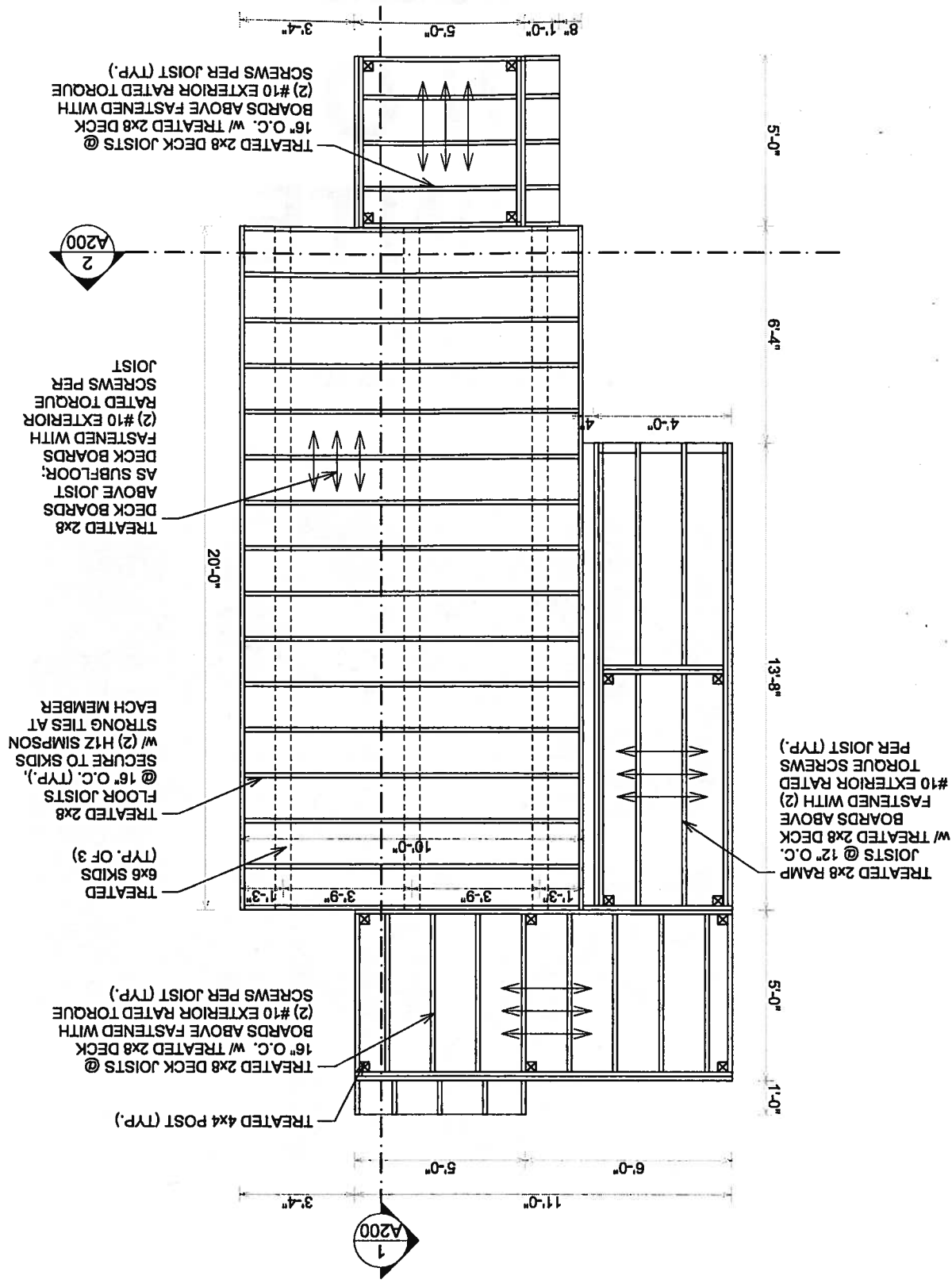
DESIGN & ENGINEERING with framwork design inc. logo and contact information: 2023 6th Street West, Ashland, WI 54806 Telephone (715) 682-9330 www.casdesignengineering.com

Project information table: DESIGNED L.D., DRAWN B.L.W., SCALE AS NOTED, DATE SEPTEMBER 2020, PROJECT NO. 20-3477

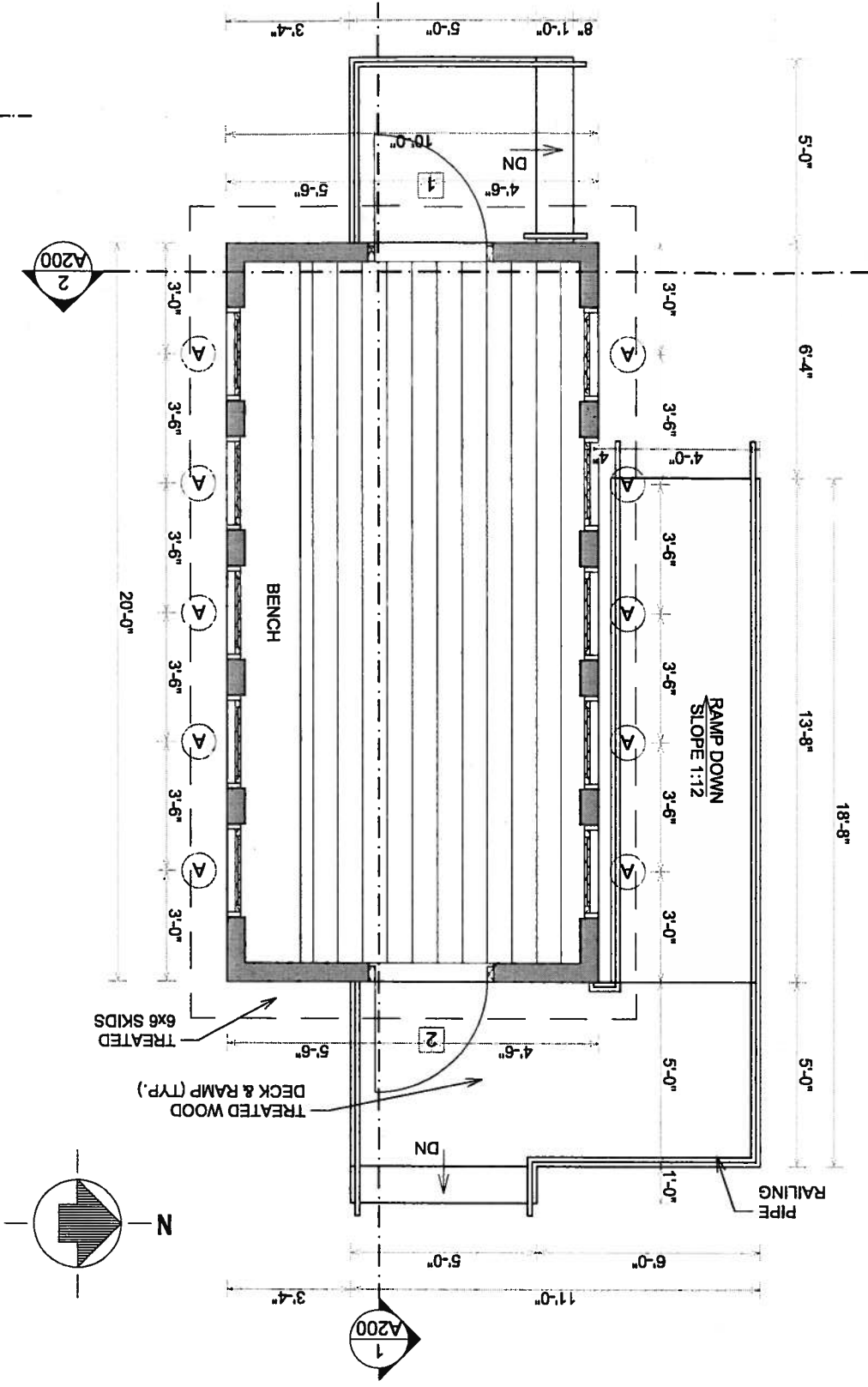
REVISIONS table and ARCHITECT seal for LAURIE D. HALL, 11725 S KANSAS CITY, MO. SHEET NO. ATS

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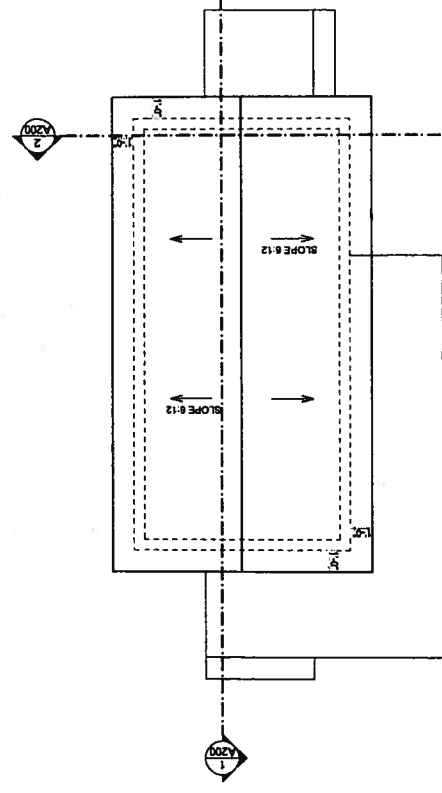
### BASE STRUCTURE PLAN



### FLOOR PLAN



### ROOF PLAN



SYMBOL	QTY	TYPE	UNIT	SIZE (MM)	GLASS TYPE	HEADER HEIGHT	HEADER SIZE	COMMENTS
⊙	10	DOUBLE HUNG	2'-4" x 3'-6"	LAMINATED	6'-6"	2 PLY 2x6		1. CONTRACTOR SHALL VERIFY ALL SIZES WITH MANUFACTURER BEFORE ORDERING OR INSTALLING. 2. ALL WINDOWS TO BE WHITE IN COLOR SELECTED BY OWNER.

SYMBOL	REMARKS	HARDWARE	LOCK FUNCTION	FRAME TYPE	SIZE	W	H	DOOR TYPE
⊠					3'-0"	6'-6"	WOOD	HALF GLASS
⊡					3'-0"	6'-6"	WOOD	PIER GLASS DOOR

1. CONTRACTOR SHALL VERIFY ALL SIZES WITH MANUFACTURER BEFORE ORDERING OR INSTALLING.  
2. ALL DOORS SHALL BE PRE-FINISHED IN A COLOR SELECTED BY THE OWNER. JAMBS SHALL BE VINYL OR ALUMINUM CLAD AND DOOR SILL SHALL BE NOT RESISTANT.

DESIGNED: L.D.
SCALE: AS NOTED
DATE: SEPTEMBER 2020
PROJECT NO.: 20-3477

APPROVED:
REVISIONS:

SHEET NO. A100

**DESIGN & ENGINEERING**  
with framework design inc  
2023 6th Street West, Ashland, WI 54805  
Telephone (715) 682-0330 www.designengineering.com

PROPOSED DOCK SHELTER FOR:  
**TOWN OF LAPONTE**  
PO BOX 2776, LAPONTE, WI 54856

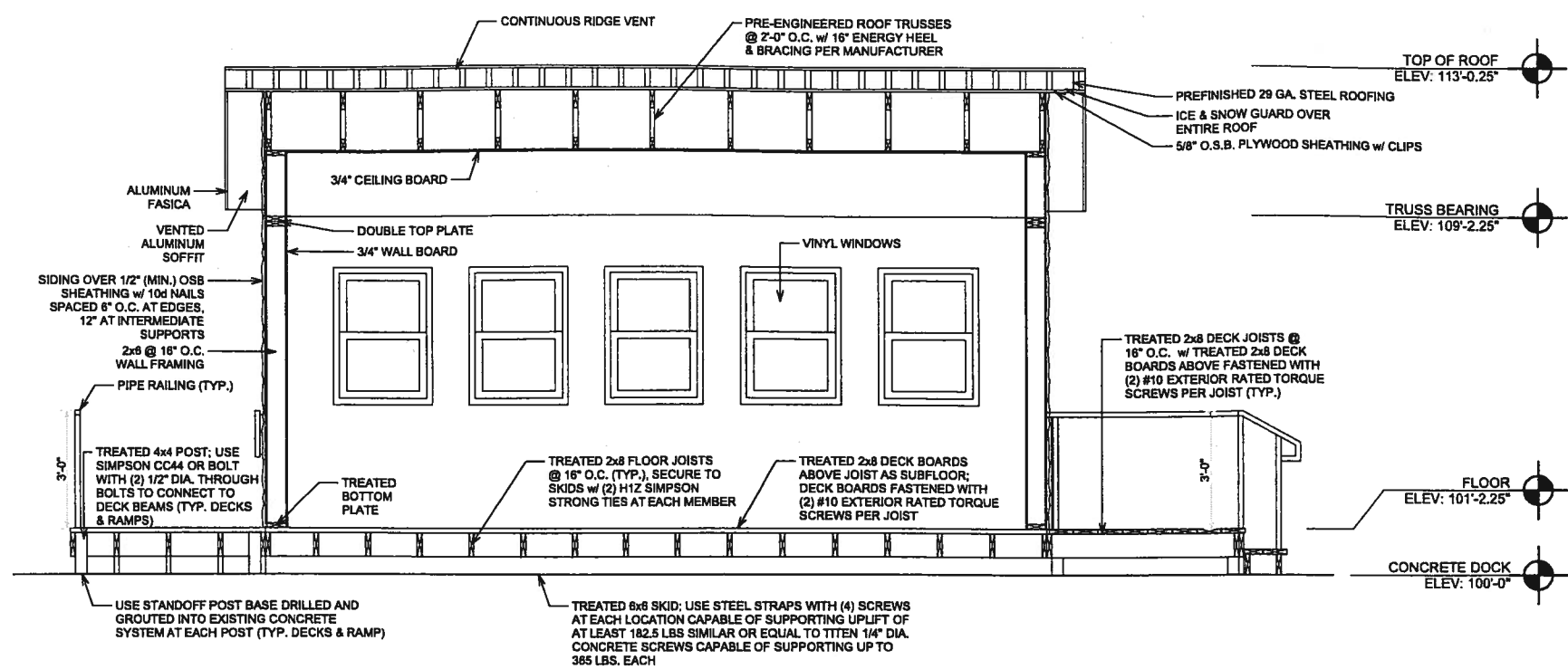
**FLOOR PLANS**

DESIGNED:	L.D.
DRAWN:	B.L.W.
SCALE:	AS NOTED
DATE:	SEPTEMBER 2020
PROJECT NO.:	<b>20-3477</b>

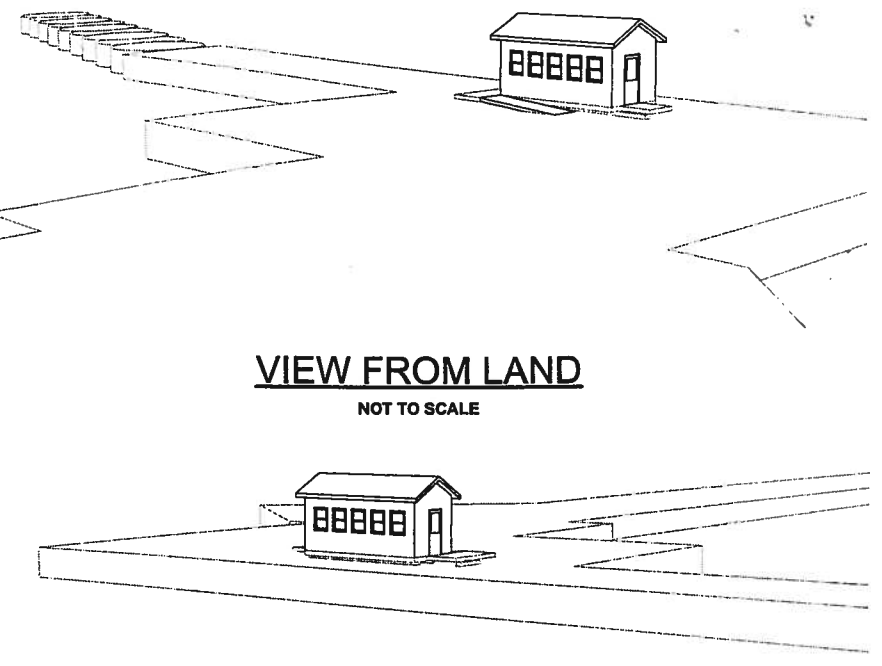
REVISIONS:	

APPROVED:	

SHEET NO.	<b>A200</b>
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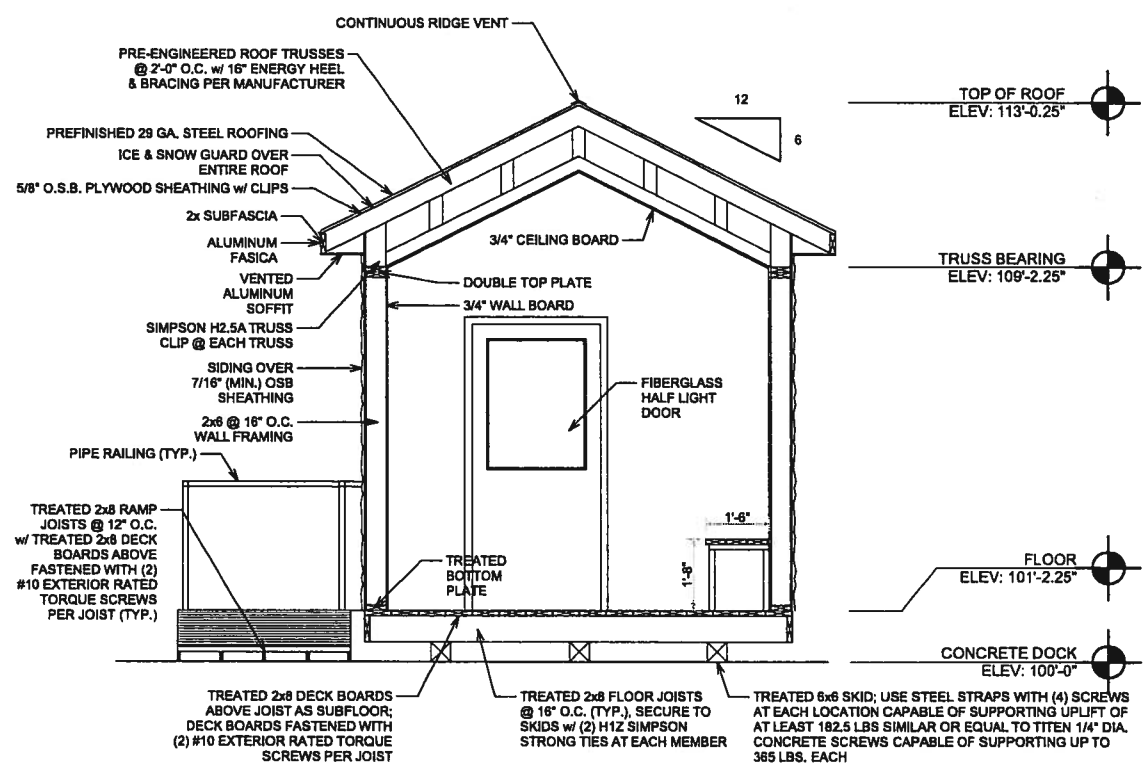


**CROSS SECTION 1/A200**  
SCALE: 1/2" = 1'-0"

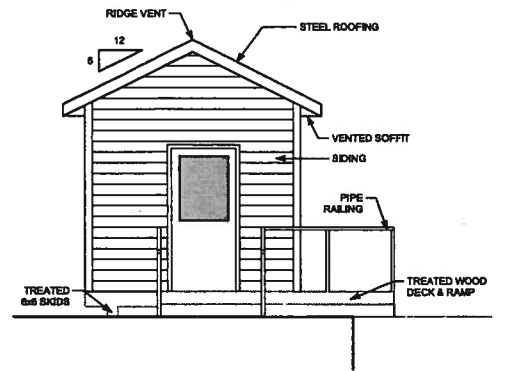


**VIEW FROM LAND**  
NOT TO SCALE

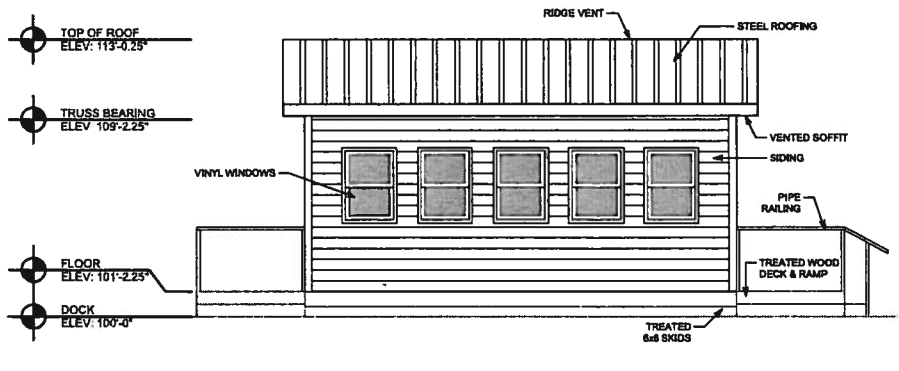
**VIEW FROM WATER**  
NOT TO SCALE



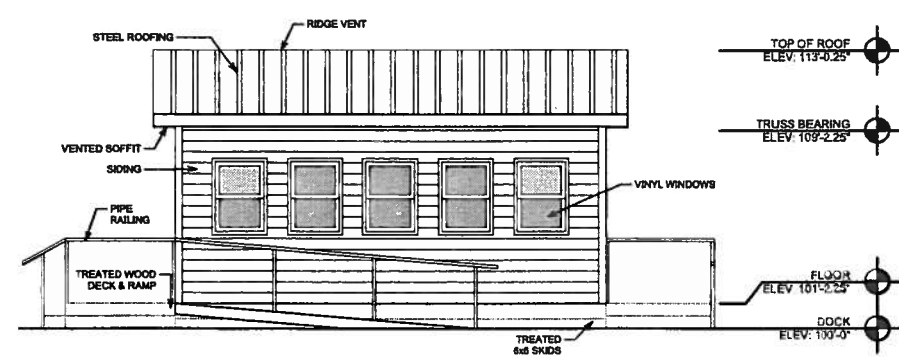
**CROSS SECTION 2/A200**  
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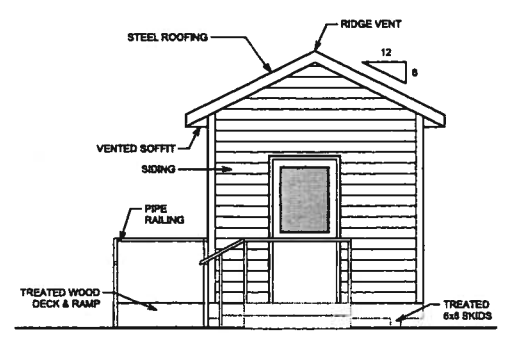
**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



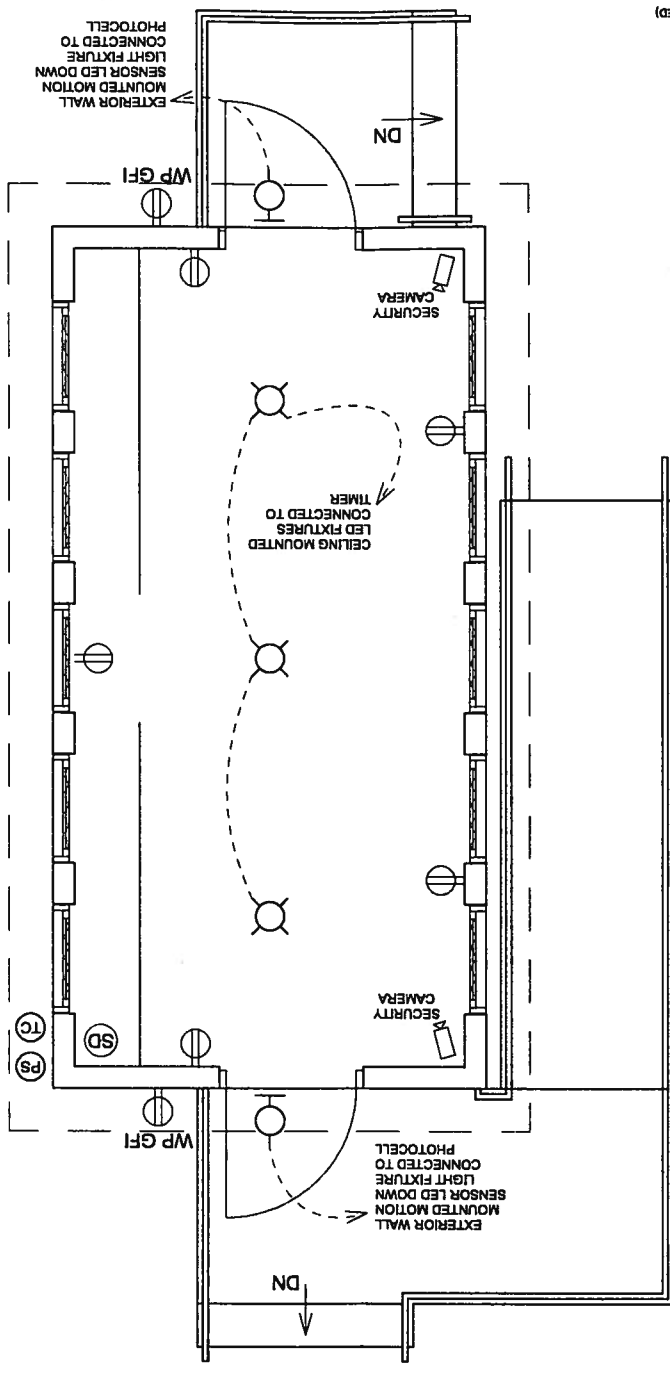
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

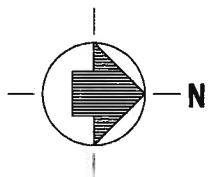
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- ELECTRICAL SYMBOLS**
- ⊕ SWITCH
  - ⊕ DUPLEX RECEPTACLE
  - ⊕ WEATHERPROOF GFI RECEPTACLE
  - ⊕ CEILING MOUNTED LIGHT FIXTURE
  - ⊕ WALL MOUNTED LIGHT FIXTURE
  - ⊕ EXT LIGHT W/ DUAL REMOTE HEADS
  - ⊕ PHOTOCELL SENSOR
  - ⊕ TIME CLOCK
  - ⊕ SMOKE DETECTOR (INTERCONNECTED AND HARD WIRED)



**ELECTRICAL PLAN**

SCALE: 1/2" = 1'-0"



SHEET NO  
**E100**

APPROVED:

REVISIONS:

PROJECT NO.  
**20-3477**

DATE  
SEPTEMBER 2020

SCALE  
AS NOTED

DRAWN  
B.L.W.

DESIGNED  
L.D.

**CS** DESIGN & ENGINEERING  
with framework design inc  
2023 6th Street West, Ashland, WI 54806  
Telephone (715) 682-0330 www.cdesignengineering.com

PROPOSED DOCK SHELTER FOR:  
**TOWN OF LAPOINTE**  
PO BOX 270, LAPOINTE, WI 54850  
**ELECTRICAL PLAN**